

**PLAINFIELD TOWN COUNCIL**

**ORDINANCE NO. 06-2023**

**AN ORDINANCE TO AMEND  
THE PLAINFIELD ZONING ORDINANCE AND ZONE MAP  
OF THE TOWN OF PLAINFIELD, INDIANA,  
AND FIXING A TIME WHEN  
THE SAME SHALL TAKE EFFECT**

(Village at Plank Road Rezone)

**WHEREAS**, I.C. 36-7-4, et seq., empowers the Town of Plainfield Plan Commission to hold public hearings and make recommendations to the Town Council of the Town of Plainfield concerning ordinances for the zoning or districting of all lands within the incorporated areas of the Town of Plainfield; and,

**WHEREAS**, the Town of Plainfield Plan Commission has conducted a public hearing in accordance with I.C. 36-7-4, et seq., with respect to a proposal to amend the Plainfield Zoning Ordinance and Zone Map of the Town of Plainfield, Indiana, and has certified such proposal to the Town Council of the Town of Plainfield with a favorable recommendation:

**NOW, THEREFORE, BE IT ORDAINED BY THE  
TOWN COUNCIL OF THE TOWN OF PLAINFIELD,  
HENDRICKS COUNTY, INDIANA AS FOLLOWS:**

**Section 1. Amendment**

Pursuant to Docket No. PUD-22-117, (Village at Plank Road Rezone) the real estate described in Exhibit "A" of about 30.97 acres attached hereto and incorporated herein by this reference is hereby rezoned from the "Double Creek Planned Unit Development" district to the "Village at Plank Road Planned Unit Development" district classification of the Plainfield Zoning Ordinance.

**Section 2. Severability**

If any section of this Ordinance shall be held invalid by a court of competent jurisdiction, its invalidity shall not affect any other provisions of this Ordinance that can be given effect without the invalid provision, and for this purpose, the provisions of this Ordinance are hereby declared to be severable.

**Section 3. Effective Date**

This Ordinance shall be effective within the incorporated areas of the Town of Plainfield, Hendricks County, Indiana upon its adoption by the Town Council of the Town of Plainfield, as

provided in I.C. 36-7-4.

Passed and adopted by the Town Council of the Town of Plainfield, Indiana, on this 13th day of February, 2023.

**TOWN COUNCIL, TOWN OF  
PLAINFIELD HENDRICKS COUNTY,  
INDIANA**

DocuSigned by:

*Robin G. Brandgard*

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Robin G. Brandgard, President

DocuSigned by:

*Bill Kirchoff*

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Bill Kirchoff, Vice President

DocuSigned by:

*Kent McPhail*

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Kent McPhail

DocuSigned by:

*Dan Bridget*

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Dan Bridget

Lance Angle

**ATTESTED BY:**

DocuSigned by:

*Mark J. Todisco*

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Mark J. Todisco, Clerk Treasurer, of the  
Town of Plainfield, Indiana

# **EXHIBIT A**

## **DETAILED DEVELOPMENT**

### **STANDARDS**

#### **Village at Plank Road**

**A Proposed Master Planned Mixed-Use Development in the  
Town of Plainfield**

#### **DEVELOPER:**

Strategic Capital Partners  
Contact: Will Zink  
280 East 96th Street, Suite 250  
Indianapolis, IN 46240  
(317) 819-1872

#### **ENGINEER:**

Banning Engineering Inc.  
BE#21233  
Contact: Jeff Banning  
853 Columbia Road, Suite 101  
Plainfield, IN 46168  
317-707-3700

#### **ARCHITECT:**

Blackline Studio  
Contact: Craig McCormick  
1043 Virginia Avenue, Studio 208  
Indianapolis, IN 46203  
317-803-7900

December 29, 2022

**AN ORDINANCE OF THE TOWN OF PLAINFIELD, INDIANA  
ESTABLISHING THE  
VILLAGE AT PLANK ROAD  
PLANNED UNIT DEVELOPMENT DISTRICT**

REVISED JANUARY 17, 2023

## VILLAGE AT PLANK ROAD PUD

NOW, THEREFORE, BE IT ORDAINED by the Town Council of the Town of Plainfield, Indiana (the “Council”), that (i) pursuant to IC §36-7-4-1500 et seq., it adopts this Village at Plank Road PUD Ordinance, as an amendment to the Town of Plainfield Zoning Ordinance and it shall be in full force and effect from and after its passage, (ii) all prior zoning commitments shall be null and void and replaced and superseded by this Village at Plank Road PUD Ordinance, and (iii) this Village at Plank Road PUD Ordinance shall be in full force and effect from and after its passage and signing by the Council.

### Project Narrative/District Intent

The proposed development is located on the east side of Plainfield in the vicinity of Raceway Road, Main Street (US40) and Bradford Road (CR200S). The property was most recently approved as the Double Creek Planned Unit Development (PUD) with the Double Creek Detailed Development Standards (DCDDS) which were recorded on November 14, 2014.

It is the intent of the developer to modify and amend the undeveloped portion of the previous Double Creek PUD which will become the Village at Plank Road PUD, said PUD will create a set of new development standards.

Since the approval of the Double Creek PUD, several improvements have occurred to the property. Raceway Road was relocated west of its original location and a Gateway feature welcoming travelers to the Town of Plainfield was constructed. The Double Creek Apartments were constructed as well in Area B. See Document #1.

The Village at Plank Road will create new standards for Areas A (A1 and A2) and C as designated in the original Double Creek PUD. It is intended that the DCDDS will allow Area B to stay in force and function as previously approved. The Village at Plank Road PUD will serve as a new document for development standards in Area A (A1 and A2) and C eliminating any previous commitments for those areas. See Document #1.

### Section 1. Application of Ordinance

Zoning Map: The Official Zoning Map of the Town of Plainfield Zoning Ordinance, is hereby changed to designate the land described in Document #2 (the “Real Estate”), as the Village at Plank Road Planned Unit Development District (“District”).

Development: Development in the District shall be governed by (i) the provisions of this Ordinance and its exhibits, and (ii) those provisions of the Town of Plainfield Zoning Ordinance, effective date of December 29, 2022, and as specifically referenced in this Ordinance. In the event of a conflict between this Ordinance and the Town of Plainfield Zoning Ordinance, the provisions of this Ordinance shall apply.

Village at Plank Road District Map: Development in the District shall be subject to the development and design standards applicable to the areas identified as Areas A1, A2, and C on Document #1.

## Section 2. General Purpose Statement

The Village at Plank Road PUD is proposed to create new standards for Areas A and C of the original Double Creek PUD. Area B will continue to be Double Creek Apartments as approved and constructed and currently in use. Areas A1, A2 and C are approximately 35.2 acres, which includes additional right of way to be dedicated for Bradford Road (CR200S) and any right of way to be created for additional public roads or other right of way that might be required for this development. The property is located entirely in the Town of Plainfield, Washington Township.

## Section 3. General Terms and Conditions

- A. The ordinance, plans and associated documents submitted with this PUD shall be considered the final detailed plan and plat. It is the intent that all these documents are complete, but there will likely be minor modifications that will occur during the construction plan process that staff can approve administratively at their discretion.
- B. It should be noted that Articles mentioned in this document reference to the Plainfield Zoning Ordinance (PZO).

## Section 4: Permitted Uses

The Village at Plank Road PUD has three (3) subareas denoted on the District Map (Document #1), labeled A1, A2 and C. The permitted uses and standards are as follows:

Area A1: GC: General Commercial – This area is to be developed as previously approved by the Double Creek Detailed Development Standards (DCDDS). The exception being that Area A is divided into Areas A1 and A2. Area A1 shall be 2.5 acres in size. All uses related to automobile services – sales, repair, carwash, service station, fuel sales, etc., are not permitted and are eliminated from the previous approval. The special exception use section will be eliminated per the original approval and alcohol sales by right will be allowed following the approval process established.

Area A1 is intended to be used for the following commercial/office uses as defined by the Plainfield Zoning Ordinance.

- A. Permitted Uses: Commercial Indoor Entertainment, Indoor Maintenance Services, Indoor Sales and Service, In-Vehicle Sales and Service, Medical Office/Hospital, Office, Personal Service, Office, Professional.
- B. The sidewalk connection extending from the building to Raceway Road shall serve as the required pedestrian connection to the main public roadway.

Area A2: Multifamily – This area is to be developed in substantial compliance with the plan submitted along with this PUD ordinance.

- A. Permitted Uses

1. Primary Uses: Multifamily Dwellings, Carriage Houses, and Active/Passive Outdoor Recreation as shown on the submitted plan.
2. Accessory Uses: As shown on the submitted plan, and including swimming pools, hot tubs, saunas, sport courts and athletic facilities. There will be no carports, mini barns, storage sheds, and children's playhouses.

B. Development Standards

1. Maximum Units: 150
2. Lot Area: Approximately 5.4 Acres
3. Minimum Project Frontage: 150 feet
4. Minimum Setbacks and Perimeter Yards:
  - i. Primary Structure
    1. The minimum setback from Main Street, New or Old Raceway Roads shall be 5 feet
  - ii. Accessory Structure
    1. The minimum setback for accessory structures from Main Street, New or Old Raceway Road shall be 10 feet.
  - iii. Minimum distance between buildings shall be 16 feet
5. Use of Minimum Yards: There are no Minimum Yards
6. Maximum Building Height
  - i. Primary Building: 65 feet
  - ii. Accessory Building: 35 feet
7. Minimum Floor Area:
  - i. Studio units, 540 minimum square feet
  - ii. One bedroom units, 680 minimum square feet
  - iii. Two bedroom units, 900 minimum square feet
  - iv. Three bedroom units, 1250 minimum square feet
  - v. Carriage House units, 850 minimum square feet
8. Parking: Parking spaces will be at a minimum ratio of 1.2 spaces per unit. There will be a minimum of 28 enclosed garages.
9. Signs: The type, use and location of signs throughout the multifamily development, both permanent and temporary shall be administratively approved by the Plainfield Planning staff based upon a master sign package submitted to and approved by the Plainfield Plan Commission. Temporary signage shall be as shown on Document #4.
10. Landscaping and Screening: Shall be placed as shown on the submitted plan. Level of Landscaping is detailed on the submitted plans. Screening of HVAC mechanical equipment will be as shown on the submitted detail.
11. Developed Recreational Open Space: Open space and amenities will be as shown on the submitted plan. Area A2 will be allowed to utilize Area C amenities. The significant Area A2 amenities will be interior to the building and a part of the Architectural Plans. Trail connections, outdoor patio areas, and landscaping will be provided at a minimum.
12. Requirements for all Private Streets, Interior Access Driveways and Interior Access Drives: These will be designed and approved by staff during the final detail development plan process.

C. Architectural Standards: See Document #3.

D. Trash Collection: Shall be located as shown on the submitted plan and detail provided.

- E. Lighting: Shall be as shown on the submitted plan and detail provided. The maximum pole height shall be 15'. Pole height, material cut sheets and photometrics are included.

Area C: Multifamily – This area is to be developed in substantial compliance with the plan submitted along with this PUD ordinance.

A. Permitted Uses

- 1. Primary Uses: Multifamily Dwellings, Carriage Houses, and Active/Passive Outdoor Recreation as shown on the submitted plan.
- 2. As shown on the submitted plan, and including swimming pools, hot tubs, saunas, sport courts and athletic facilities. There will be no carports, mini barns, storage sheds, and children's playhouses.

B. Development Standards

- 1. Maximum Units: 375
- 2. Lot Area: Approximately 23.0 Acres
- 3. Minimum Project Frontage: 150 feet
- 4. Minimum Setbacks and Perimeter Yards:
  - i. Primary Structure
    - 1. The minimum setback from a public street shall be 5 feet.
  - ii. Accessory Structure
    - 1. The minimum setback for accessory structures from a public street shall be 7 feet.
  - iii. Minimum distance between buildings shall be 16 feet
- 5. Use of Minimum Yards: There are no Minimum Yards
- 6. Maximum Building Height
  - i. Primary Building: 65 feet
  - ii. Accessory Building: 35 feet
- 7. Minimum Floor Area:
  - i. Studio units, 540 minimum square feet
  - ii. One bedroom units, 680 minimum square feet
  - iii. Two bedroom units, 900 minimum square feet
  - iv. Three bedroom units, 1250 minimum square feet
  - v. Carriage House units, 850 minimum square feet
- 8. Parking: Parking spaces will be at a minimum ratio of 1.2 spaces per unit. There will be a minimum of 34 enclosed garages.
- 9. Signs: The type, use and location of signs throughout the multifamily development, both permanent and temporary shall be administratively approved by the Plainfield Planning staff based upon a master sign package submitted to and approved by the Plainfield Plan Commission. Temporary signage shall be as shown on Document #4.
- 10. Landscaping and Screening: Shall be placed as shown on the submitted plan. Level of Landscaping is detailed on the submitted plans. Screening of HVAC mechanical equipment will be as shown on the submitted detail.
- 11. Developed Recreational Open Space: Open space and amenities will be as shown on the submitted plan. Area C will be allowed to utilize Area A2 amenities. Outdoor amenities will include trail connections, pond viewing area, creek/bridge crossing, outdoor patio area and fire pit, swimming pool, two pickleball courts, dog park, and landscaping. A detailed plan is submitted.

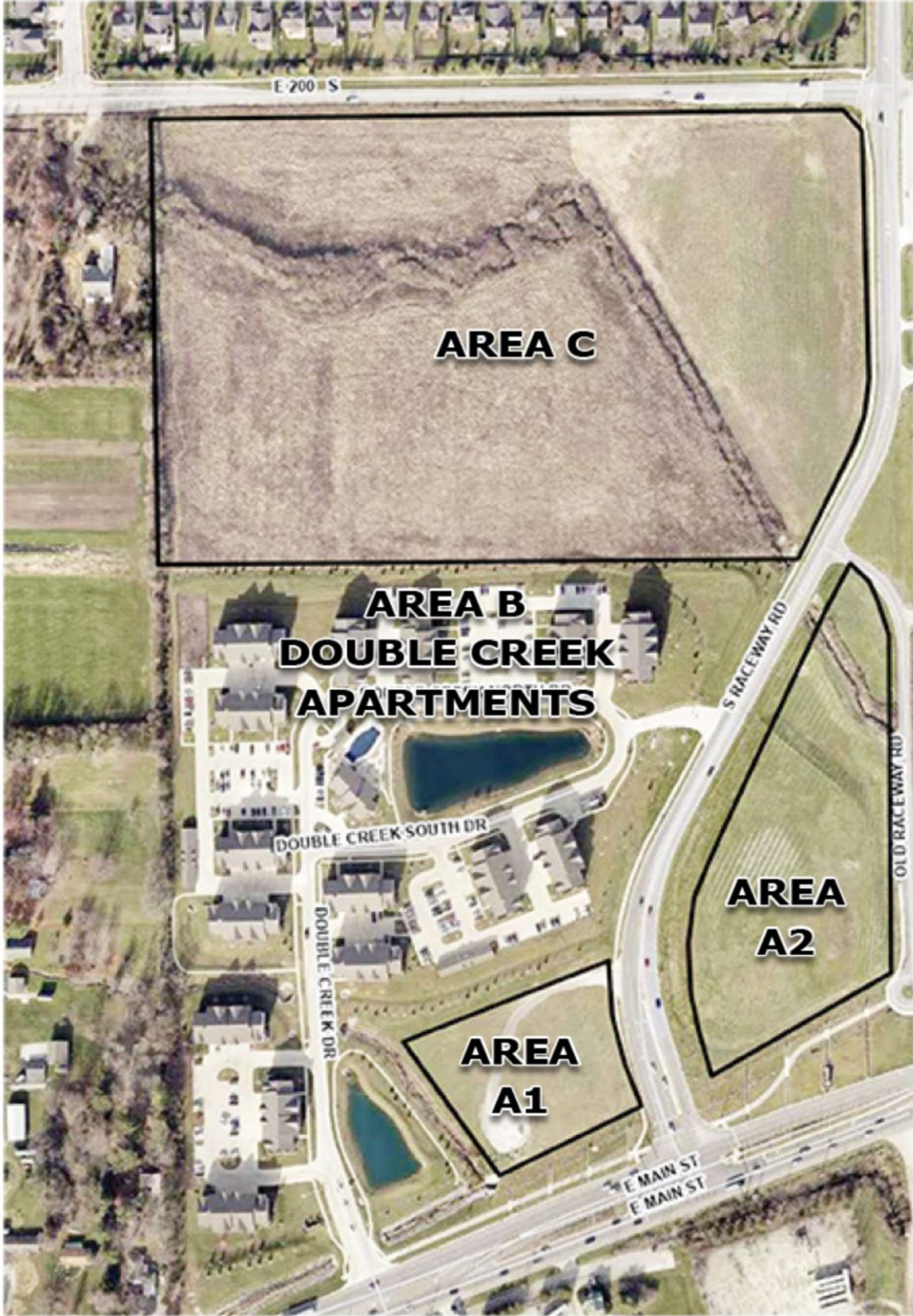
12. Requirements for all Private Streets, Interior Access Driveways and Interior Access Drives: These will be designed and approved by staff during the final detail development plan process.
- C. Architectural Standards: See Document #3.
- D. Trash Collection: shall be located as shown on the submitted plan and detail provided
- E. Lighting: Shall be as shown on the submitted plan and detail provided. The maximum pole height shall be 15'. Pole height, material cut sheets and photometrics are included.

Additional Area A2 and Area C Commitments:

1. An east west road per the Comprehensive Plan to be known as Plank Road will be constructed as a part of the project. A north south public road will also be constructed. Typical street section is part of the submitted plan.
2. Any additional right of way required for Bradford Road or Raceway Road will be dedicated as a part of the project.
3. Mailboxes will be interior to the buildings.
4. Each apartment building will provide a bike rack for 10-12 bikes near an entrance.
5. Electric vehicle charging station locations will be provided as part of the construction plan development.
6. Motorcycle parking will be provided for each apartment building.
7. It is the intent to construct the project in two (2) phases as shown on the plans. The phasing of the project will be determined during the final detail development plan process. The club house and pool area will be constructed in Phase one (1).
8. The owner will plow snow for the private drives, parking areas and trails as needed. The newly created public streets will be plowed by the owner until Plank Road is extended to the west of the property.



DOCUMENT #1  
VILLAGE AT PLANK ROAD AREAS



  
NO SCALE

DOCUMENT #2  
VILLAGE AT PLANK ROAD  
LAND DESCRIPTIONS

Parcel A1

Part of the east half of the northeast quarter of Section 20, Township 15 North, Range 2 East of the Second Principal Meridian in the Town of Plainfield, Hendricks County, Indiana, being that 2.497 acre tract of land shown on the plat of an ALTA/NSPS Land Title Survey of said tract certified by Jonathan D. Polson, PS #LS21500011, as Banning Engineering's project Number 21233 (all references to monuments and courses herein are as shown on said plat of survey) described as follows:

Commencing at a 5/8-inch rebar marking the southeast corner of the east half of said northeast quarter; thence North 00 degrees 10 minutes 17 seconds West along the east line thereof 1,112.12 feet to the north right-of-way line of former United States Highway 40; thence South 63 degrees 04 minutes 08 seconds West along said north right-of-way line 542.31 feet to the southwest corner of Tract 5b of the land of the Town of Plainfield recorded as Instrument Number 201914840 in the Office of the Recorder of Hendricks County and the POINT OF BEGINNING (the following three (3) calls are along said north right-of-way line of former United States Highway 40); 1) thence South 63 degrees 04 minutes 08 seconds West 231.77 feet; 2) thence South 82 degrees 35 minutes 57 seconds West 48.92 feet; 3) thence South 65 degrees 02 minutes 47 seconds West 25.59 feet to the southeast corner of Lot 1 in Double Creek per plat thereof recorded as Instrument Number 201513175 in said recorder's office (the following two (2) calls follow are the east and southerly lines of said Lot 1); 1) thence North 36 degrees 10 minutes 55 seconds West 310.61 feet; 2) thence North 69 degrees 13 minutes 38 seconds East 452.59 feet to the westerly line of said Tract 5b and the beginning of a non-tangent curve to the left having a radius of 550.00 feet and a central angle of 24 degrees 17 minutes 06 seconds, the radius point of which bears South 82 degrees 53 minutes 26 seconds East (the following two (2) calls are along the westerly line of said land of the Town of Plainfield); 1) thence southwesterly along the arc of said curve 233.12 feet to a point which bears South 72 degrees 49 minutes 28 seconds West from said radius point; 2) thence South 17 degrees 16 minutes 50 seconds East 61.44 feet to the POINT OF BEGINNING, containing 2.497 acres, more or less.

Parcel A2

Part of the east half of the northeast quarter of Section 20, Township 15 North, Range 2 East of the Second Principal Meridian in the Town of Plainfield, Hendricks County, Indiana, being that 5.427 acre tract of land shown on the plat of an ALTA/NSPS Land Title Survey of said tract certified by Jonathan D. Polson, PS #LS21500011, as Banning Engineering's project Number 21233 (all references to monuments and courses herein are as shown on said plat of survey) described as follows:

Commencing at a 5/8-inch rebar marking the southeast corner of the east half of said northeast quarter; thence North 00 degrees 10 minutes 17 seconds West along the east line thereof 1,112.12 feet to the north right-of-way line of former United States Highway 40; thence South 63 degrees 04 minutes 08 seconds West along said north right-of-way line 28.00 feet to the POINT OF BEGINNING; thence continue South 63 degrees 04 minutes 08 seconds West along said north right of way line 400.71 feet to the southeast corner of Tract 5b of the land of the Town of Plainfield recorded as Instrument Number 201914840 in the Office of the Recorder of Hendricks County (the following three (3) calls are along the east line of said Tract 5b); 1) thence North 17

degrees 16 minutes 50 seconds West 94.26 feet to the beginning of a tangent curve to the right having a radius of 450.00 feet and a central angle of 46 degrees 23 minutes 21 seconds; 2) thence northeasterly along the arc of said curve 364.34 feet; 3) thence North 29 degrees 06 minutes 31 seconds East 509.83 feet to the southerly line of Tract 3a of the land of the Town of Plainfield recorded as Instrument Number 201914837 in said recorder's office and the beginning of a tangent curve to the right having a radius of 15.00 feet and a central angle of 90 degrees 00 minutes 04 seconds (the following four (4) calls are along the south line said Tract 3a and the west lines of Tract 3b of the land of the Town of Plainfield recorded as Instrument Number 201914837 in said recorder's office); 1) thence southeasterly along the arc of said curve 23.56 feet; 2) thence South 60 degrees 53 minutes 25 seconds East 16.42 feet to the beginning of a tangent curve to the right having a radius of 125.00 feet and a central angle of 60 degrees 43 minutes 08 seconds; 3) thence southeasterly along the arc of said curve 132.47 feet; 4) thence South 00 degrees 10 minutes 17 seconds East 595.52 feet to the POINT OF BEGINNING, containing 5.427 acres, more or less.

#### Parcel C

Part of the east half of the northeast quarter of Section 20, Township 15 North, Range 2 East of the Second Principal Meridian in the Town of Plainfield, Hendricks County, Indiana, being that 23.051 acre tract of land shown on the plat of an ALTA/NSPS Land Title Survey of said tract certified by Jonathan D. Polson, PS #LS21500011, as Banning Engineering's project Number 21233 (all references to monuments and courses herein are as shown on said plat of survey) described as follows:

Commencing at the northeast corner of said northeast quarter; thence South 89 degrees 41 minutes 00 seconds West along the north line thereof 60.07 feet; thence South 00 degrees 19 minutes 00 seconds East 40.00 feet to the south line of the land of the Town of Plainfield recorded as Instrument Number 200326535 in the Office of the Recorder of Hendricks County and the POINT OF BEGINNING; thence South 45 degrees 14 minutes 40 seconds East 21.19 feet to the west line of Tract 5a of the land of the Town of Plainfield recorded as Instrument Number 201914837 in said recorder's office (the following three (3) calls are along the westerly lines thereof); 1) thence South 00 degrees 10 minutes 21 seconds East 436.06 feet to the beginning of a tangent curve to the right having a radius of 355.00 feet and a central angle of 29 degrees 16 minutes 52 seconds; 2) thence southwesterly along the arc of said curve 181.42 feet; 3) thence South 29 degrees 06 minutes 31 seconds West 194.01 feet to the northeast corner of Lot 1 in Double Creek per plat thereof recorded as Instrument Number 201513175 in said recorder's office; thence South 89 degrees 23 minutes 50 seconds West along the north line thereof 1,137.21 feet to a woven wire fence (the following three (3) calls are along said woven wire fence); 1) thence North 00 degrees 36 minutes 56 seconds East 639.15 feet; 2) thence North 10 degrees 23 minutes 52 seconds East 12.32 feet; 3) thence North 04 degrees 16 minutes 17 seconds West 153.60 feet to the south line of the land of the Town of Plainfield recorded in Instrument Number 200326534 in said recorder's office; thence North 81 degrees 19 minutes 23 seconds East along said south line 33.20 feet to the southwest corner of the land of the Town of Plainfield recorded in Instrument Number 201914837 in said recorder's office; thence North 89 degrees 41 minutes 00 seconds East 864.54 feet to the south line of said land of the Town of Plainfield recorded in Instrument Number 200326535 (the remaining calls are along said south line); 1) thence South 82 degrees 41 minutes 58 seconds East 75.44 feet; 2) thence North 89 degrees 41 minutes 00 seconds East 290.19 feet to the POINT OF BEGINNING, containing 23.051 acres, more or less.

**DOCUMENT #3**  
**VILLAGE AT PLANK ROAD**  
**MULTIFAMILY DESIGN GUIDELINES**

**A. Multifamily Site Design Standards**

1. Accommodations for trash collection shall be centralized enclosures with the following characteristics:
  - a. Side and back enclosure screenwalls shall be minimum 6' tall and be made of integrally colored ground face masonry units to match the color palette of adjacent multifamily buildings
  - b. Front enclosure gates shall be stained cedar or aluminum and match the color palette of the adjacent buildings
  - c. Shall include foundation landscaping
2. Foundation landscaping shall occur at all buildings and must occupy 75% of the building footprint, not including walk-out patios
3. Onsite covered parking structures and carriage house garages shall utilize the same architectural modulation principles as primary and secondary buildings.

**B. Multifamily Architectural Features**

1. Building materials should comply with the following guidelines:
  - a. Brick veneers may utilize contemporary architectural design features including stacked bond, soldier courses, and areas of inward and outward pattern and relief. Brick veneers may be varied unit sizes including standard modular, Roman, Norman, and utility. Brick faces and finishes may include wirecut, velour, flash and smooth. Brick units cannot be klinker, tumbled or any finish to represent neo-historic brick patterns.
  - b. Concrete masonry unit exterior surfaces must be ground-faced and integrally colored with mortar colors in the same color palette as the masonry units. CMU may have scoring to create visual patterns. Split and standard face CMU are not allowed as exterior finish surfaces.
  - c. Smooth-faced fiber cement panels may be applied with aluminum patterned relief joints such as EZ-trim or may be installed with board and batten look patterns. Reveals may be painted to match the panel or have an aluminum finish.
  - d. Fiber cement lap siding may be installed in various profile sizes and may be factory stained, factory painted, or field painted. Corners on fiber cement lap siding should be aluminum corner joints or fiber cement trim.
  - e. Metal wall siding and roofing may be installed in factory-finished colors as flush seam, standing seam, snap seam, and architectural crimped and fluted panels. Corrugated and large sheet pole barn metal siding are not allowed. Metal siding must have a minimum gauge of 26.

- f. Real wood exterior siding must be knot-free and may be clear grade cedar (“c and better clear” minimum grade), rainscreen wood products including ipe and similar insect-free species, and thermally-modified timber products such as Arbor Wood Co. Cedar exterior siding must be coated with a protective exterior siding stain.
2. Building facade modulation shall occur on all primary and secondary structures utilizing the following guidelines:
  - a. Modulation is defined as a change in building surface, color or material. Modulation may occur by stepping or changing the depth of the façade including balcony recesses, by changing the material surface, texture or color, or by adding projecting elements or features to a façade. Balcony railings are considered a modulation. Windows are not considered modulations.
  - b. Any building façade greater than 100 feet in length shall have a minimum of three modulations. At least one modulation shall be a repeated shape in the same proportions.
  - c. Any building façade less than 100 feet in length shall have a minimum of two modulations
3. Windows, glazing and fresh air requirements shall use the following guidelines:
  - a. Ground floor common areas and amenity shall use aluminum storefront glazing systems. Operable window walls are encouraged in amenity and clubhouse areas.
  - b. Residential unit windows shall be fixed or operable vinyl or fiberglass units. Residential windows shall be colored white on the interior and non-white colored on the exterior.
  - c. Residential units may have sliding doors or swing doors with sidelights and shall match the color of the adjacent window units.
  - d. Every bedroom and living room shall have a minimum of one operable window or balcony door unit to provide fresh air.
4. Exterior lighting mounted to primary and secondary buildings shall be a full-cutoff light fixture with a flat-bottomed lens.
5. Signs: The type, use and location of signs throughout the multifamily development, both permanent and temporary shall be administratively approved by the Plainfield Planning staff based upon a master sign package submitted to and approved by the Plainfield Plan Commission. Temporary signage shall be as shown on Document #4.

# DOCUMENT #4

## VILLAGE AT PLANKROAD

### TEMPORARY SIGNAGE

The temporary signage shown on this document is intended to depict typical construction, leasing, sales, directional and promotional signage which may be placed at various times and locations on Areas A1, A2 and C. The exact wording and colors of the sign will vary. Temporary signage shall be removed at milestone events related to the sign such as; completion of project construction, issuance of a certificate of occupancy, closure of a model or cessation of an event noted on the sign.



TEMPORARY ID SIGNAGE

