

**Section 2. Single Family and Two Family Guidelines.**

A. Basic Standard.

The developer / builder desires to follow the Design Guidelines and Design Features as listed below in lieu of the Basic Standards.

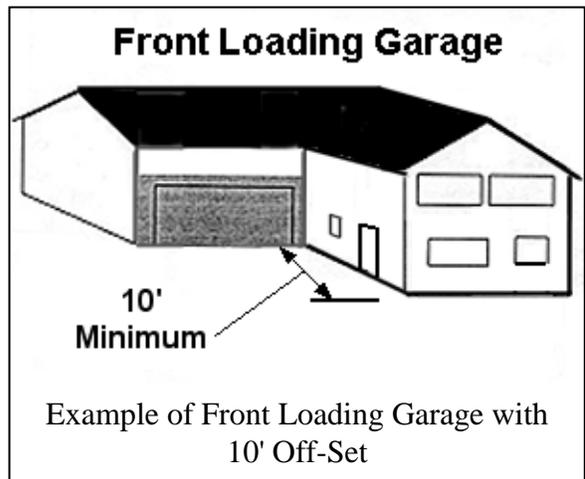
B. Design Guidelines and Design Features.

The following guidelines will be utilized to create variety and interest in all elevations of a home.

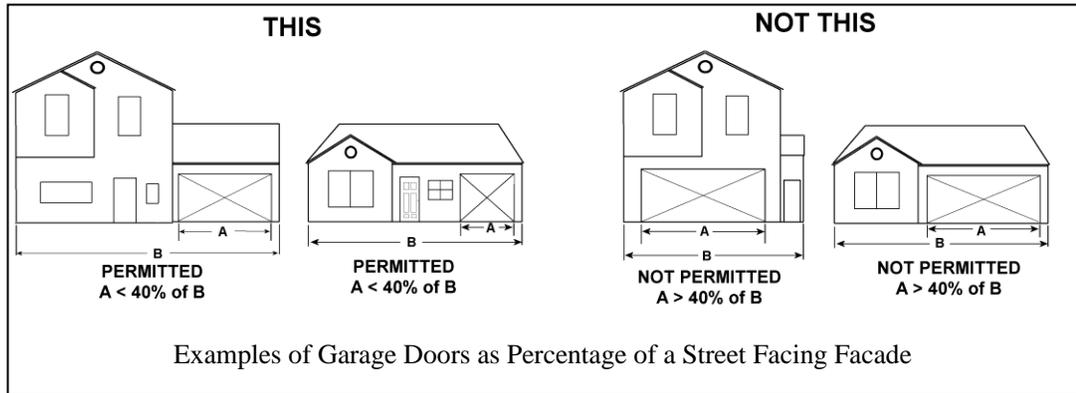
1. Garages – All single family dwellings will have, at a minimum, a two car attached garage and will comply with the following guidelines:

a. Design Features for Two Car Garages – All two car garages, either detached or attached, should utilize at least one (1) of the following three (3) design features:

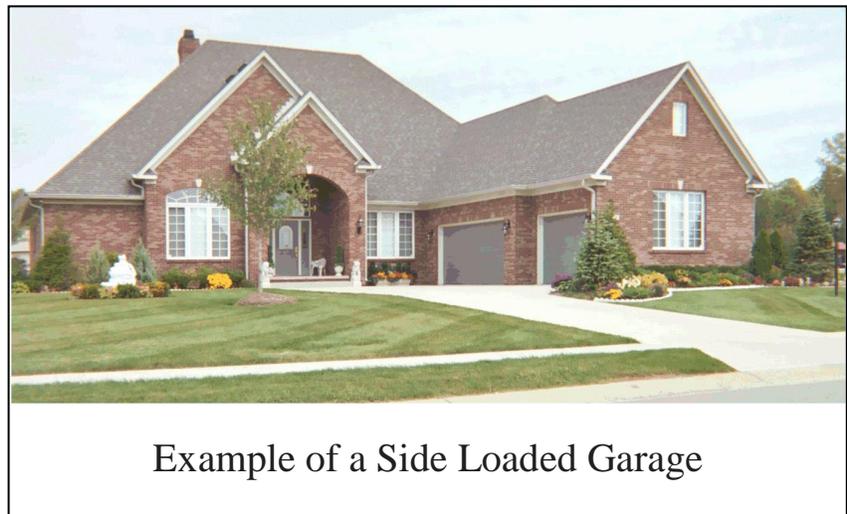
(1) Garage Off-Set – Development of single family dwellings in which the front façade of an attached or detached front loading garage is off-set and stepped back from the front building line by at least ten (10) feet.



(2) Garage as Percent of Facade – Two car front loading garage doors shall not comprise more than forty (40) percent of the linear length of the ground floor, street facing façade of the primary building containing a dwelling unit. Three car front loading garage doors shall not comprise more than fifty two and a half (52.5) percent of the linear length of the ground floor, street facing façade of the primary building containing the dwelling unit.



- (3) Side or Rear Loaded Garages – Utilization of a side loaded or rear loaded garage to minimize the impact of the garage doors on the streetscape.



b. Additional Design Features:

- (1) More than Two-Car Garages – No more than two (2) one-car garage doors nor one (1) two-car garage door should be located on the same architectural plane of a front elevation. Architectural planes for additional sets of garage doors on a front elevation should be off-set by a minimum of twelve (12) inches.



- (2) Maximum Driveway Width – No driveway should exceed twenty (20) feet in width at the sidewalk.



c. Minimum Size of Garages – All two car garages should comply with the following minimum area and width guidelines:

- (1) Garages – All front load garages should have a minimum area of 484 square feet, with a minimum width of 19 feet. All side load garages should have a minimum area of 450 square feet, with a minimum width of 19 feet.
- (2) Overhangs – All single family dwellings shall be constructed with 11” overhangs extending out from the exterior sheathing on all facades.

- C. Front Elevations – The front elevations of all single family dwellings should include design features selected from the options specified in Table 2A: Residential Design Features – Front Facades.

<b>Table 2A: Residential Design Features Front Facades</b>
<p>Select a minimum of eleven (11) of the following design features for the front facade with at least:</p> <ul style="list-style-type: none"> <li>- Four (4) design features selected from Group 1;</li> <li>- Three (3) design features selected from Group 2; and,</li> <li>- The remaining four (4) design features may be selected from Group 1, Group 2 or Group 3.</li> </ul>

<p><b><u>Group 1:</u></b></p> <p>Change in Elevation of Roof Ridge.</p> <p>Change in Direction of Roof Ridge.</p> <p>Roof with Dormers (minimum of two (2) dormers, unless Eyebrow Dormer).</p> <p>Bay or Oriel Window.</p> <p>Porch or Verandah (covering a minimum of 40% of the overall width of the front façade of the primary building containing a dwelling unit).</p> <p>Portico or Shed Roof Accent</p> <p>Covered Front Entry (minimum covered area – 32 square feet).</p> <p>Façade Modulation (Other than items listed herein; minimum 12 inches in depth)</p> <p>Front Façade Containing <u>No</u> Garage Doors. (<u>Note:</u> This item qualifies as two (2) design features)</p> <p>100% brick or stone on front, side and rear elevations (i.e., all wall area* below the eave line or a trimmed gable). (<u>Note:</u> This item qualifies as three (3) design features selected from any Group).</p> <p>Brick or stone on full first floor of front façade*.</p> <p>Roof Overhangs (minimum 11” on front, side and rear elevations).</p> <p>8/12 Roof Pitch</p> <p>Group 1 items in excess of 4 may be applied to Group 2 requirements.</p> <p>* - Front façade wall area is exclusive of window or door areas but does include all wall areas oriented to the front of a primary building containing a dwelling unit located between the two side walls of such building.</p>
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**Group 2:**

Multiple Building Materials (secondary material must comprise at least 20% of front façade).*	.Side-by-Side Windows (within 8"; min. of 50% of windows in each story)
Crawl Space or Basement.	Door Sidelight(s).
Hip Roof.	Door Transom.
Gable Accent.	Decorative Front Door (minimum 25% glazing).
3 Car Garage.	Window Transom.
Dimensional Shingles.	Side Garage Bump-out (minimum size 3' X 10', exclusive of garage area).

\* - Front façade wall area is exclusive of window or door areas but does include all wall areas oriented to the front of a primary building containing a dwelling unit located between the two side walls of such building.

**Group 3 – Additional Items:**

Decorative Door Architrave.	Shutters.
Decorative Window Architrave.	Window Grids (permanent).
Decorative Window Cornice.	Decorative Gable Vents.
Decorative Trim Molding (including, at a minimum, fascia, soffit & corner trim).	Keystone (over all first floor, front facade windows and doors).
Architectural Elements (e.g., quoins, pilasters, soldier courses, friezes, cornices, dentils, etc.).	Windows in Garage Door.
Pent Roof or Pent Roof Return.	Foundation Landscape Package (minimum: 2 trees; 1 tree and 4 shrubs; or, 8 shrubs).
Accent Siding.	
Decorative Porch Column (round, 6x6 or trimmed out)	

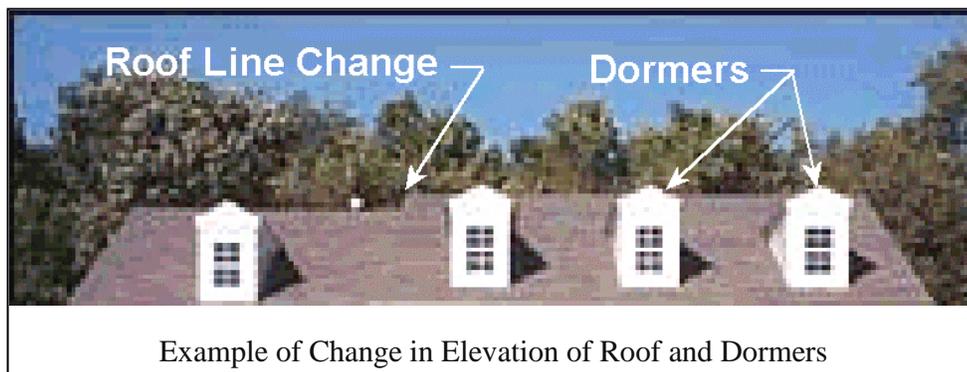
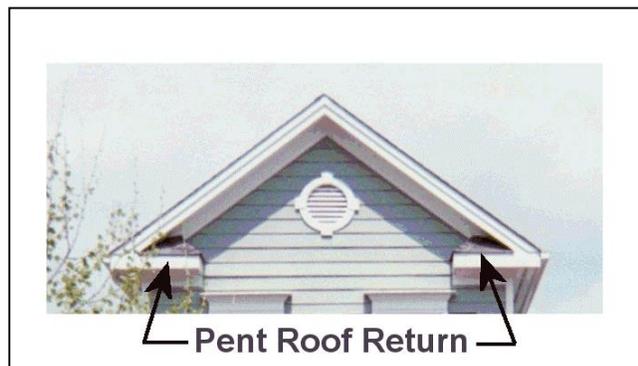
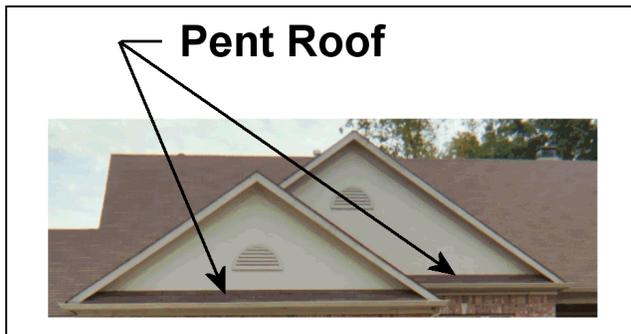
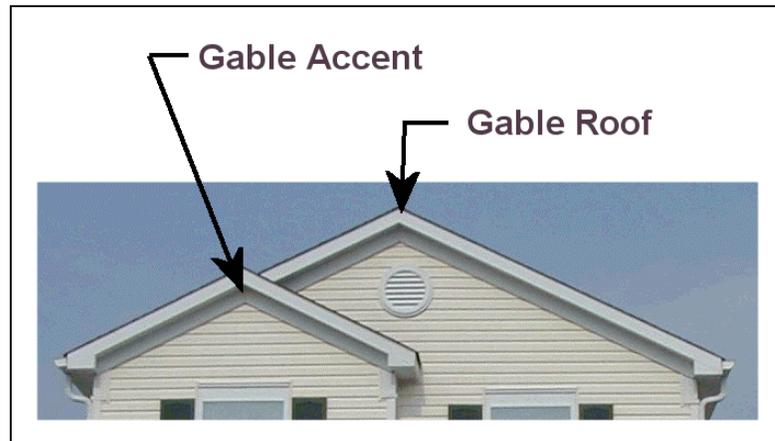
**NOTES:**

Additional architectural embellishments or design features may be approved within each Group when such architectural features would provide a similar architectural effect to the items listed within each Group.

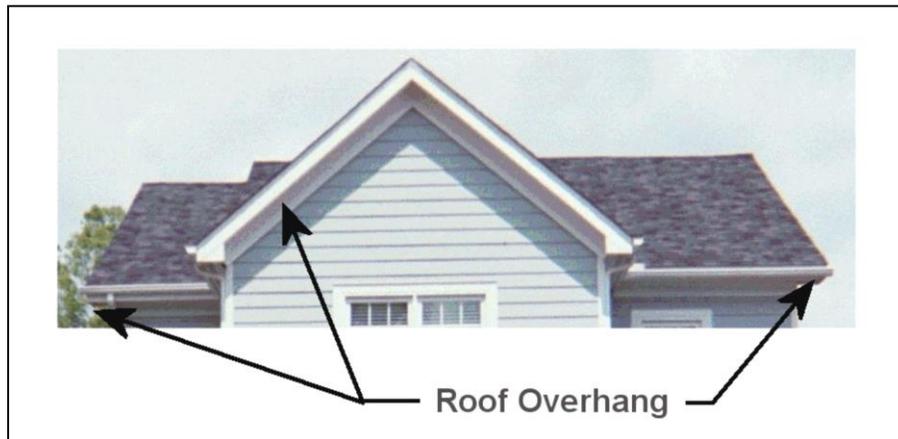
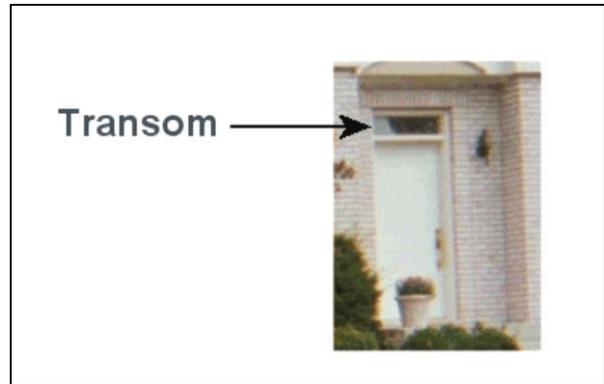
Fiber cement products such as "HARDIPLANK®" siding by James Hardie, "Weatherboard®" by Certainteed, and other similar products, may receive credit as a secondary building material, but shall not be considered the equivalent of brick or stone.

Wherever "masonry products" other than brick or stone are proposed as a Residential Design Feature, such masonry products shall be architectural unit types subject to review and approval by the Plan Commission. A standard concrete block or cinder block which does not feature an architectural surface shall not be awarded credit as a Residential Design Feature.

## Examples of Residential Design Features for Front Facades



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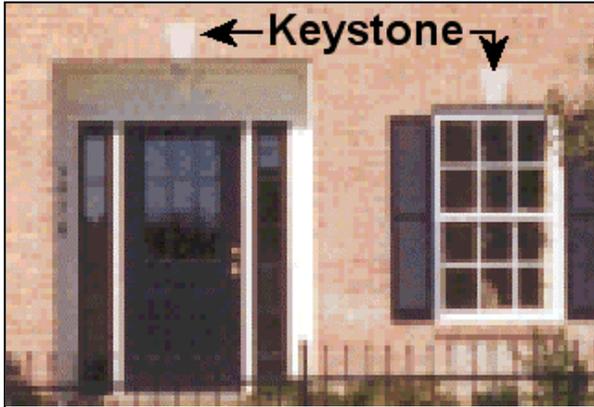


Example of: Accent Siding and Decorative Vent in a Gable Accent with Pent Roof



Example of: Porch, Façade Modulation, No Garage Doors, Roof Overhang, Side-by-Side Windows, Crawl Space, Pent Roof, Shutters, Window Grids, Decorative Gable Vent, and Foundation Landscaping

## Examples of Residential Design Features for Front Facades



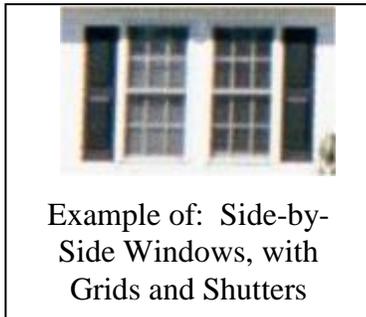
Example of Keystones



3' Minimum

10' Minimum

Side Garage Bump-Out

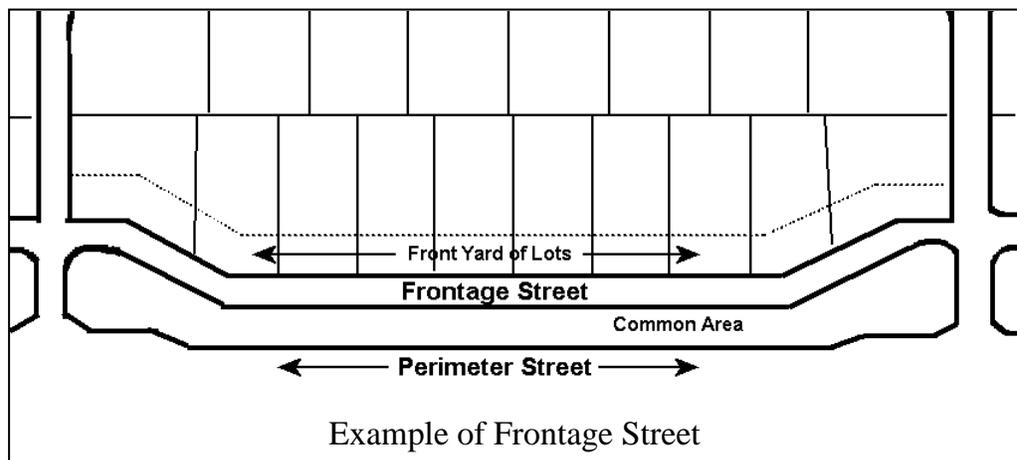


Example of: Side-by-Side Windows, with Grids and Shutters

D. Additional Design Features for Single Family Dwelling Lots.

1. Perimeter Streetscapes – All portions of the subdivision or project which is oriented toward an existing perimeter street should utilize at least one (1) of the following three (3) design features:

a. Frontage Street – All lots, sub-lots and streets should be laid out so that single family dwellings and two family dwellings located on all lots which are adjacent to a perimeter street of a subdivision or project are oriented with the front façade of the dwelling facing toward the perimeter street of the subdivision or project. This design feature may be accomplished through the utilization of a frontage street;

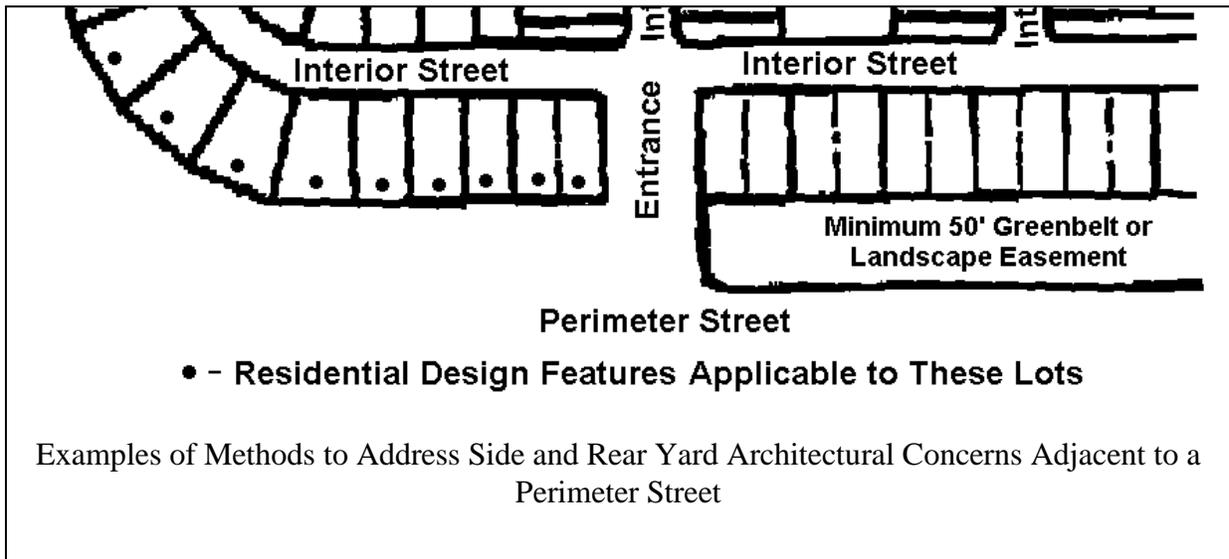


b. Side or Rear Elevation Architectural Treatment – Single family dwellings and two family dwellings located on lots or sub-lots adjacent to a perimeter street of a subdivision or project and located so as to have a side or rear elevation oriented to said perimeter street should utilize design features selected from the options specified in Table 2B: Residential Design Features – Side and Rear Elevations; or,

c. Greenbelt or Landscape Easement - A greenbelt (which includes significant tree preservation) or landscape easement, of not less than fifty (50) feet in dimension should be provided along all perimeter streets of the subdivision or project. A landscape easement which contains primarily new plantings should achieve a plant unit value of five (5) or greater (as calculated pursuant to Article 4.7 of the Plainfield Zoning Ordinance), with at least 40% of the value obtained from ornamental or shade trees, and at least 40% of the plant unit value obtained from evergreen trees. The remaining 20% of the plant unit value may consist of: any type of plant material (deciduous trees, evergreen trees, hedge plants, etc.); walls; fences; or, berms, as regulated by Article 4.7 of the Plainfield Zoning

Ordinance. No portion of the greenbelt or landscape easement should be included in the area of any lot.

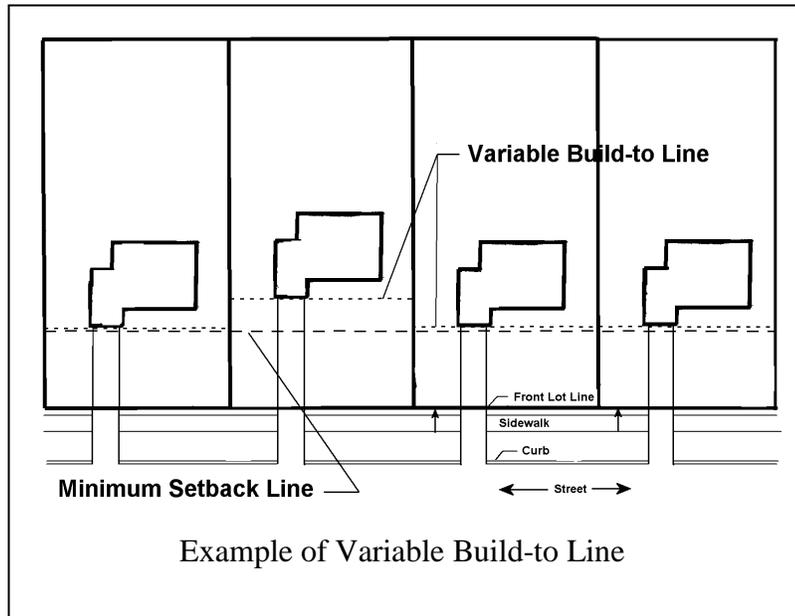
2. Interior Streetscapes for all Single Family Dwelling Lots of 15,000 Square Feet in



Lot Area or Less:

All portions of the subdivision or project should utilize at least one (1) of the following two (2) design features:

- a. Establish a variable build to line by plat to vary the placement of adjacent dwelling units by a minimum of:
  - (1) Single Family Dwellings – a five (5) foot or more variation applicable to at least one (1) of every four (4) lots along a block face; or,
- b. Utilize a non-monotony provision requiring two (2) homes on each side of a home and three (3) homes across the street to be differing elevations and combinations of brick and siding colors.



3. All Other Side or Rear Elevations Not Oriented Toward a Perimeter Street – Single family dwellings located on all other lots or sub-lots and which are not oriented toward a perimeter street should utilize design features selected from the options specified in Table 2B: Residential Design Features – Side and Rear Elevations.

**Table 2B: Residential Design Features  
Side and Rear Elevations**

Select from the following design features based upon the location and orientation of the side or rear elevation:

- Side or Rear Elevation Oriented Toward a Perimeter Street – a minimum of five (5) of the following design features, with at least three (3) features selected from Group 1, for any side or rear elevation oriented toward a perimeter street;
- All Other Rear Elevations– a minimum of four (4) of the following design features, with at least two (2) features selected from Group 1, for any other rear elevation; or,
- All Other Side Elevations – a minimum of two (2) of the following design features, with at least one (1) feature selected from Group 1, for any other side elevation.

**Group 1:**

Change in Elevation of Roof Ridge.

Change in Direction of Roof Ridge.

Finished Space "Pop-Out" (minimum size 3' X 10').

Open or Screened in Porch (minimum size 90 square feet).

Bay or Oriel Window.

Bay Door.

Side-by-Side Windows (within 8"; minimum of 50% of windows in each story).

Exterior Chase Fireplace.

Façade Modulation (other than items listed herein; minimum 12 inches in depth)

Roof with Dormers (minimum of two (2) dormers).

100% brick or stone on front, side and rear elevations (i.e., all wall area\* below the eave line or a trimmed gable). (Note: This item qualifies as three (3) design features selected from any Group).

Minimum 50% brick or stone on the applicable side or rear elevation \*.

Minimum of one (1) windows per side elevation.

Minimum of four (4) windows on the rear elevation of a ranch.

Minimum of six (6) windows on the rear elevation of a two-story.

\* a sliding door or patio door counts as 1 window.

**\*Note:** Side elevation wall area is exclusive of window or door areas. Rear elevation wall area is exclusive of window or door areas but does include all wall areas oriented to the rear of a primary building containing a dwelling unit located between the two side walls of such building.

**Group 2:**

Multiple Building Materials (secondary material must comprise at least 20% of the applicable elevation).

Hip Roof.

Decorative Door Architrave.

Decorative Window Architrave.

Decorative Window Cornice.

Decorative Trim Molding (including, at a minimum, fascia, soffit & corner trim).

Architectural Elements (e.g., quoins, pilasters, soldier courses, friezes, cornices, dentils, etc.)

Accent Siding.

Door Transom.

Window Transom.

Elevated Deck with Decorative Rail.

Integrated Covered Storage Area (Not the same as a Side Garage Bump-Out; minimum size 3' X 10').

Foundation Landscape Package (minimum: 2 trees; 1 tree and 4 shrubs; or, 8 shrubs).

Shutters.

Window Grids (permanent).

Patio Doors (double width, not sliding).

Roof Overhangs.

Side Garage Bump-Out (minimum size of 3'x10')

**NOTES:**

Additional architectural or design features may be approved within each Group when such architectural features would provide a similar architectural effect to the items listed within each Group.

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# Examples of Residential Design Features for Side and Rear Facades



Example of: Shutters, Patio Doors and Retractable Awning



Example of: Screened Porch & Elevated Deck with Decorative Rail



Example of Bay Door



Example of: Roof Line Change, Patio Doors and Change in Architectural Plains

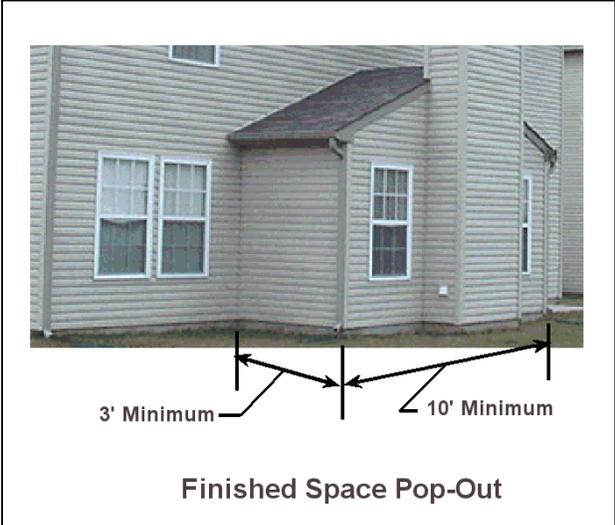


Example of: Shutters, Window Grids, Patio Doors and Side-by-Side Windows



Example of an Exterior Chase Fireplace

**Examples of Residential Design Features for Side and Rear Facades**



E. Administration.

1. Homeowners Association / Architectural Review Committee / Covenants, Conditions and Restrictions.

In any subdivision that will include a homeowners association (HOA) or an architectural review committee (ARC) charged with the approval of all proposed new construction, alterations or additions in the subdivision, the design features selected for the subdivision should be incorporated into any rules, procedures or guidelines established by the Covenants, Conditions and Restrictions of the subdivision and should be used to establish the scope of review for such HOA or ARC.

2. Improvement Location Permit & Building Permit Process.

A Certification of Compliance for all plans which indicates the design features used to comply with these design guidelines shall be prepared by the applicable HOA, ARC or builder (where no HOA or ARC exist) and should be submitted with all applications for an Improvement Location Permit and Building Permit for all single family or two family dwellings covered by these Residential Design Guidelines.