

# PLAINFIELD TOWN COUNCIL

## RESOLUTION NO. 2008-21

### **A RESOLUTION OF THE TOWN COUNCIL OF THE TOWN OF PLAINFIELD, INDIANA, APPROVING AN AMENDMENT TO THE RESIDENTIAL DESIGN GUIDELINES, AN ELEMENT OF THE PLAINFIELD COMPREHENSIVE PLAN**

**WHEREAS**, I.C. 36-7-4, et seq., empowers the Town of Plainfield Plan Commission to prepare a Comprehensive Plan for the promotion of public health, safety, morals, convenience, order or the general welfare and for the sake of efficiency and economy in the process of development; and,

**WHEREAS**, I.C. 36-7-4, et seq., authorizes a Comprehensive Plan to include a variety of elements, including but not limited to any factors that are a part of the physical, economic and social situation within the Town of Plainfield, and to prepare reports and recommendations setting forth plans and policies for the development and improvement of the physical situation so as to substantially accomplish the purpose of the Comprehensive Plan; and,

**WHEREAS**, I.C. 36-7-4, et seq., authorizes a plan commission to adopt entire comprehensive plan, amendments to comprehensive plans or individual elements of a comprehensive plan; and,

**WHEREAS**, the Town of Plainfield Plan Commission conducted a public hearing on July 7, 2008 in accordance with I.C. 36-7-4, et seq., with respect to a proposal to amend the Town of Plainfield Residential Design Guidelines, an element to the Plainfield Comprehensive Plan of the Town of Plainfield, Indiana; and,

**WHEREAS**, the Town of Plainfield Plan Commission did certify said amendment of the Town of Plainfield Residential Design Guidelines, an element to the Plainfield Comprehensive Plan to the Town Council of the Town of Plainfield with a unanimous affirmative vote.

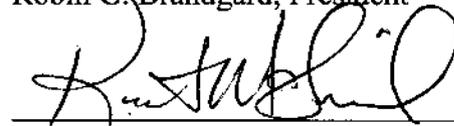
**Now, Therefore, Be It Resolved** by the Town Council of the Town of Plainfield, Hendricks County, Indiana, that:

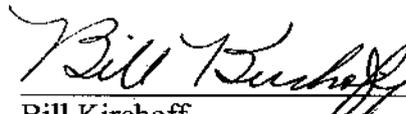
The Town Council of the Town of Plainfield, Indiana hereby approves the amendment to the Town of Plainfield Residential Design Guidelines, an element of the Plainfield Comprehensive Plan (a copy of which is attached hereto as Exhibit A and incorporated herein by this reference) and directs the Clerk of the Town of Plainfield, Indiana to place one (1) copy of the Town of Plainfield Residential Design Guidelines on file with the Recorder of Hendricks County, Indiana.

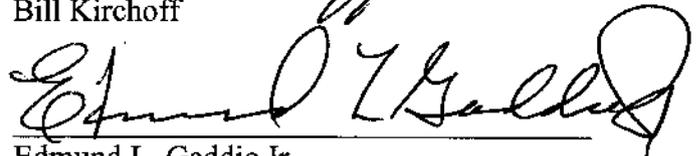
The foregoing Resolution was passed by the Town Council of the Town of Plainfield, Indiana on this 25 day of August, 2008.

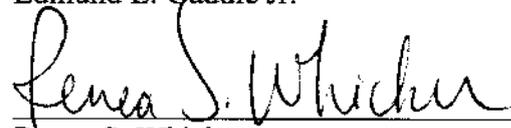
**TOWN COUNCIL, TOWN OF  
PLAINFIELD,  
HENDRICKS COUNTY, INDIANA**

  
\_\_\_\_\_  
Robin G. Brandgard, President

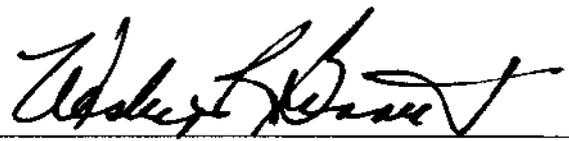
  
\_\_\_\_\_  
Kent McPhail

  
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Bill Kirchoff

  
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Edmund L. Gaddie Jr.

  
\_\_\_\_\_  
Renea S. Whicker

ATTESTED BY:

  
\_\_\_\_\_  
Wesley Bennett, Clerk-Treasurer of  
The Town of Plainfield, Indiana

Publish:      The Hendricks County Flyer

**EXHIBIT A**

**RDG AMENDMENTS**

**7-7-08**

## **Section 2. Single Family and Two Family Guidelines.**

### **A. Basic Standard.**

The basic standard desired by the Town of Plainfield for all single family dwellings and two family dwellings is as follows:

1. **Minimum Main Floor Area:** The minimum main floor area of each dwelling unit, exclusive of garage, carport, deck, patio, open porches, and basements:
  - a. **One-Story Building:** one-thousand seven hundred (1,700) square feet; or,
  - b. **Two or More Story Building:** one-thousand two hundred (1,200) square feet, with a total finished floor area of not less than one-thousand eight hundred (1,800) square feet.
2. **Garages:** Garages should either be attached or detached, but not both. All garages should be no less than four hundred and eighty-four (484) square feet in usable area (exclusive of areas set aside for HVAC, water heaters and the like).
3. **Appearance:** The exterior walls should comply with the following requirements:
  - a. **One Story Building:** The exterior walls of a single story residence should contain a minimum of eighty-five percent (85%) of brick or stone veneer, exclusive of windows and doors, supplemented with architectural elements (e.g., quoins, pilasters, soldier courses, friezes, cornices, dentils, etc.).
  - b. **Two or More Story Building:** The exterior walls should have one-hundred percent (100%) of the first floor covered with brick or stone veneer, exclusive of windows and doors, supplemented with architectural elements (e.g., quoins, pilasters, soldier courses, friezes, cornices, dentils, etc.).
  - c. **Brick or stone requirements should also apply to:** any portion of a building facing any porches; and, any wall areas oriented to the front of the building and located between the two side walls of the building.
  - d. **Roof Pitch:** The roof should have not less than a 6/12 pitch.
  - e. **Roof Overhangs:** The roof should have overhangs that are not less than 12".

- f. **Additional Siding Materials:** Those portions of a wall area not required to utilize a brick or stone veneer may use other durable siding materials. Siding materials such as: "HARDIPLANK®" Siding by James Hardie, "Weatherboard®" by Certainteed, or other similar fiber cement products; wood clapboard siding; wood beaded siding; or, stucco / dryvit / EIFS, shall be considered acceptable siding materials. Aluminum siding less than 0.024 thickness shall not be permitted (except in soffit areas). Vinyl siding shall not be permitted (except in soffit areas), unless complying with the provisions of Table 7A – Specifications for Use and Installation of Vinyl Siding.
- g. **Compatibility of Garages:** Garages should use exterior siding materials and architectural elements consistent with and in the same proportions as required for the primary building.

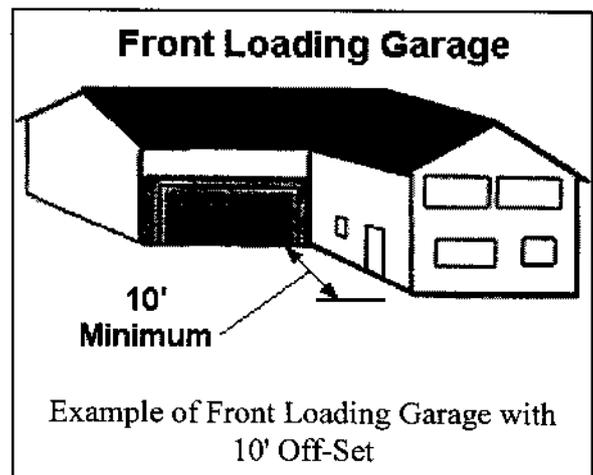
If a residential developer / builder desires to not follow the basic standards desired by the Town of Plainfield for single family or two family residential developments, then the design guidelines and design features set forth below are recommended.

**B. Design Guidelines and Design Features.**

The Town of Plainfield encourages developers / builders to use the following guidelines to create variety and interest in all elevations of a home. The Town also strongly encourages builders to exceed the recommendations contained in these guidelines on all model homes built in a subdivision.

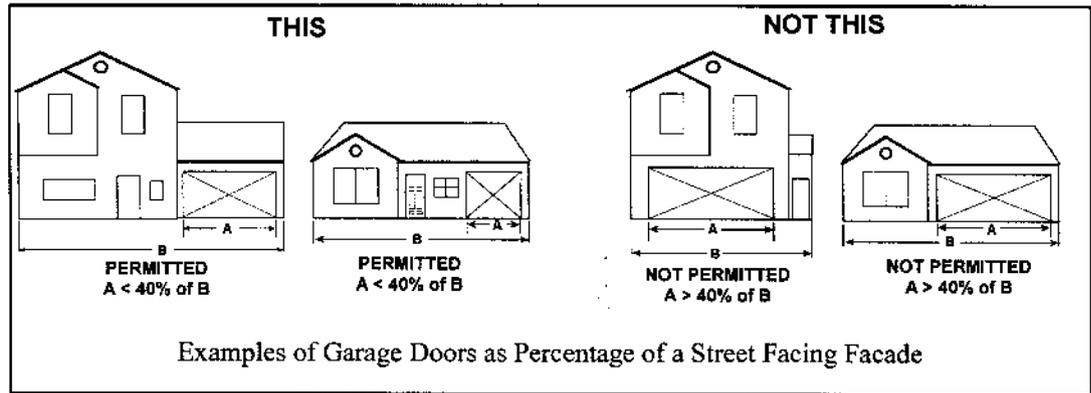
- 1. **Garages – All single family dwellings and two family dwellings with accessory garages, either detached or attached, should comply with the following guidelines:**
  - a. **Design Features for One or Two Car Garages – All one or two car garages, either detached or attached, should utilize at least one (1) of the following three (3) design features:**

- (1) **Garage Off-Set –** Development of single family dwellings or two family dwellings in which the front façade of an attached or detached front loading garage is off-set and stepped back from the front

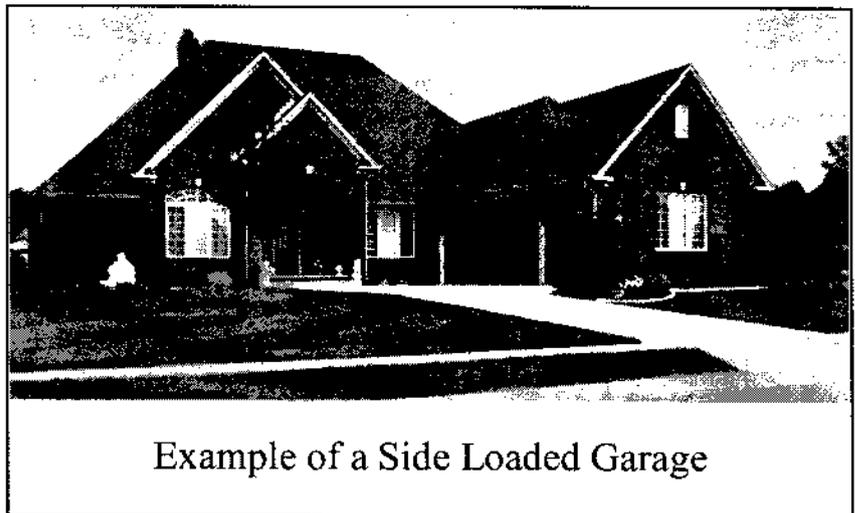


building line by at least ten (10) feet.

- (2) Garage as Percent of Facade – Garage doors shall not comprise more than forty (40) percent of the linear length of the ground floor, street facing façade of the primary building containing a dwelling unit.



- (3) Side or Rear Loaded Garages – Utilization of a side loaded or rear loaded garage to minimize the impact of the garage doors on the streetscape.



b. Additional Design Features:

- (1) More than Two-Car Garages – No more than two (2) one-car garage doors nor one (1) two-car garage door should be located on the same architectural plane of a front elevation. Architectural planes for additional sets of garage doors on a front elevation should be off-set by a minimum of twelve



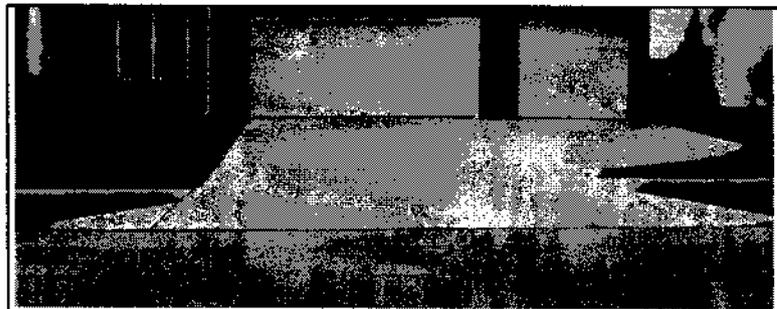
Example of Garage Door Off-Set When Garage Accommodates More than Two Cars

(12) inches.

- (2) Maximum Driveway Width – No driveway should exceed twenty (20) feet in width at the sidewalk.

c. Minimum Size of Garages – All one or two car garages, either detached or attached, should comply with the following minimum area and width guidelines:

- (1) One Car Garages – All one car garages should have a minimum area of 275 square feet (exclusive of any side garage bump-out area), with a minimum width of 11 feet.
- (2) Two Car Garages – All two car garages should have a minimum area of 484 square feet (exclusive of any side



Example of Driveway Flair to Limit Width at Sidewalk

garage bump-out area), with a minimum width of 19 feet.

2. Overhangs – All single family dwellings and two family dwellings shall be constructed with 12” overhangs on all facades.
- C. Front Elevations – The front elevations of all single family dwellings and two family dwellings should include design features selected from the options specified in Table 2A: Residential Design Features – Front Facades.

**Table 2A: Residential Design Features  
Front Facades**

Select a minimum of eleven (11) of the following design features for the front facade with at least:

- Four (4) design features selected from Group 1;
- Three (3) design features selected from Group 2; and,
- The remaining four (4) design features may be selected from Group 1, Group 2 or Group 3.

**Group 1:**

- Change in Elevation of Roof Ridge.
- Change in Direction of Roof Ridge.
- Roof with Dormers (minimum of two (2) dormers, unless Eyebrow Dormer).
- Bay or Oriel Window.
- Porch or Verandah (covering a minimum of 40% of the overall width of the front façade of the primary building containing a dwelling unit).
- Portico or Shed Roof Accent over Front Entry (minimum covered area - 4' X 10').
- Façade Modulation (Other than items listed herein; minimum 12 inches in depth)
- Front Façade Containing No Garage Doors.
- Roof Overhangs (minimum 12" on front, side and rear elevations):
- 100% brick or stone on front, side and rear elevations (i.e., all wall area\* below the eave line or a trimmed gable). (Note: This item qualifies as three (3) design features selected from any Group).
- Minimum 50% brick or stone on front façade\*.

\* - Front façade wall area is exclusive of window or door areas but does include all wall areas oriented to the front of a primary building containing a dwelling unit located between the two side walls of such building.

**Group 2:**

- |  |  |
|--|--|
| Multiple Building Materials<br>(secondary material must<br>comprise at least 20% of front<br>façade).* | Side-by-Side Windows (within 8"; min.<br>of 50% of windows in each story)  |
| Crawl Space or Basement.   | Door Sidelight(s).   |
| Hip Roof.  | Door Transom.  |
| Gable Accent.  | Window Transom.  |
|  | Side Garage Bump-out (minimum size<br>3' X 10', exclusive of garage area). |

\* - Front façade wall area is exclusive of window or door areas but does include all wall areas oriented to the front of a primary building containing a dwelling unit located between the two side walls of such building.

**Group 3 – Additional Items:**

Decorative Door Architrave.	Shutters (all front, side and rear elevations).
Decorative Window Architrave.	Window Grids (permanent).
Decorative Window Cornice.	Decorative Front Door (minimum 25% glazing).
Decorative Trim Molding (including, at a minimum, fascia, soffit & corner trim).	Decorative Gable Vents.
Architectural Elements (e.g., quoins, pilasters, soldier courses, friezes, cornices, dentils, etc.).	Keystone (over all first floor, front facade windows and doors).
Pent Roof or Pent Roof Return.	Windows in Garage Door.
Accent Siding.	Foundation Landscape Package (minimum: 2 trees; 1 tree and 4 shrubs; or, 8 shrubs).

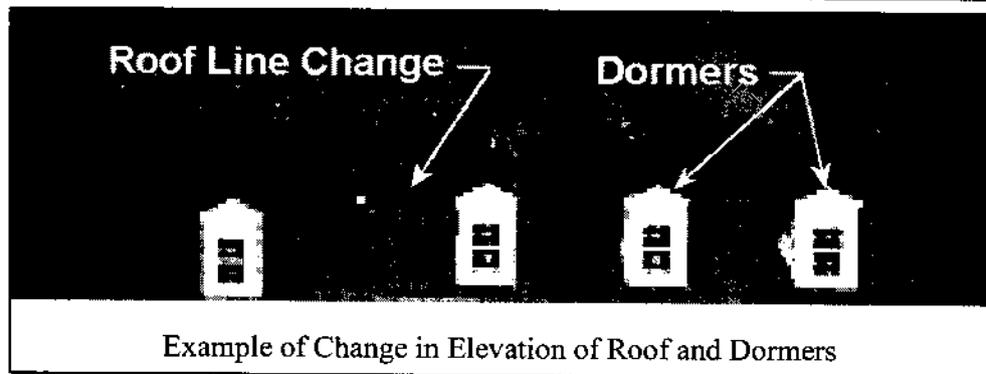
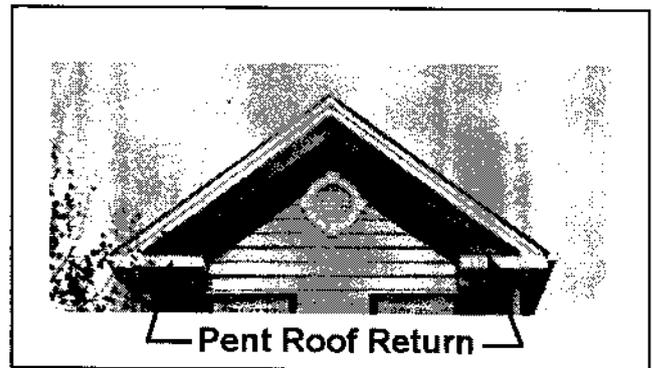
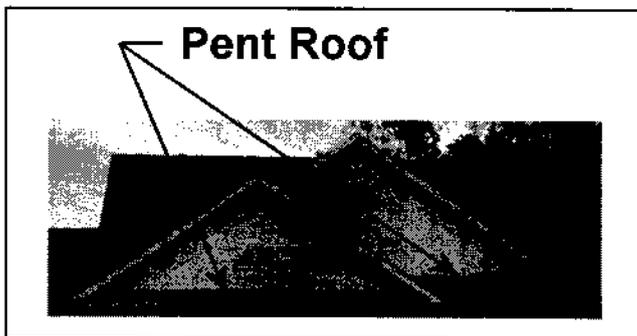
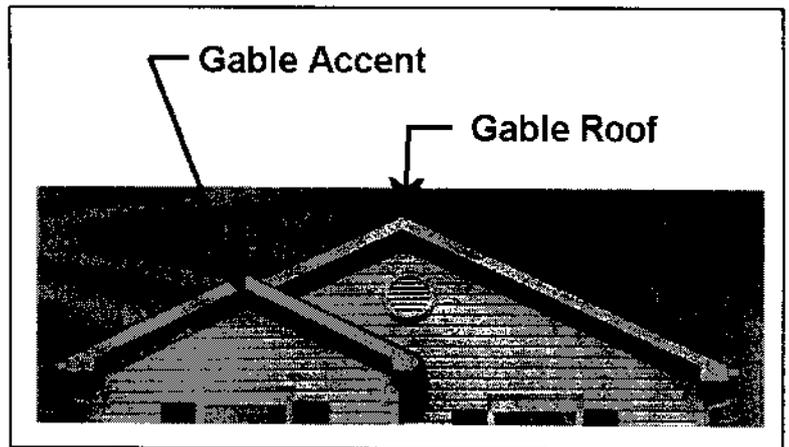
**NOTES:**

Additional architectural embellishments or design features may be approved within each Group when such architectural features would provide a similar architectural effect to the items listed within each Group.

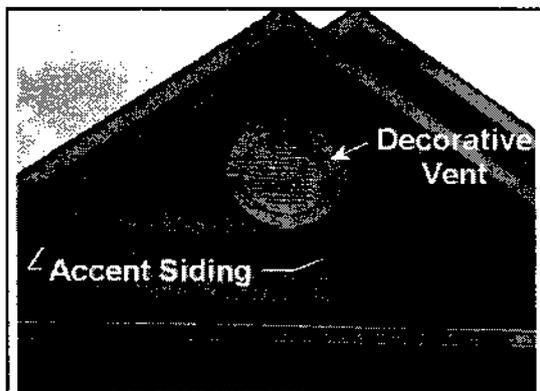
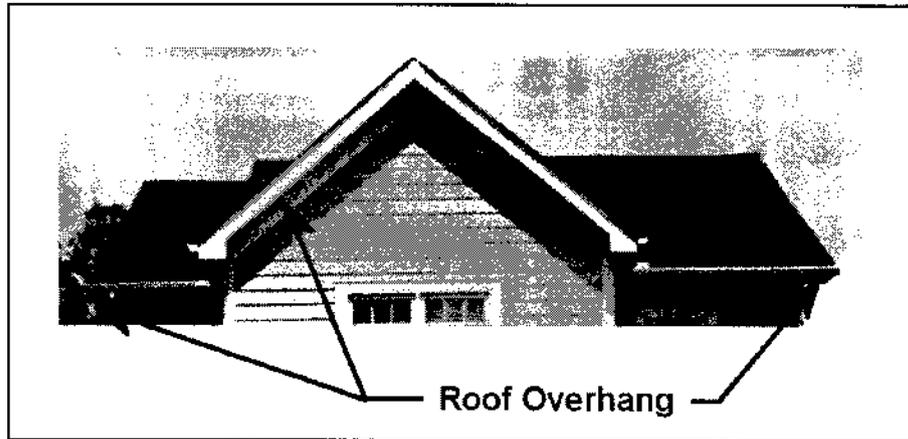
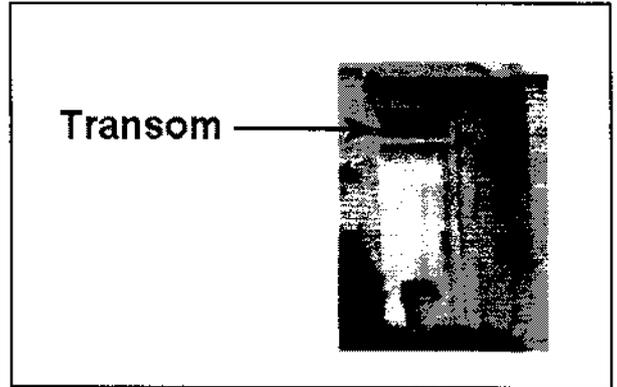
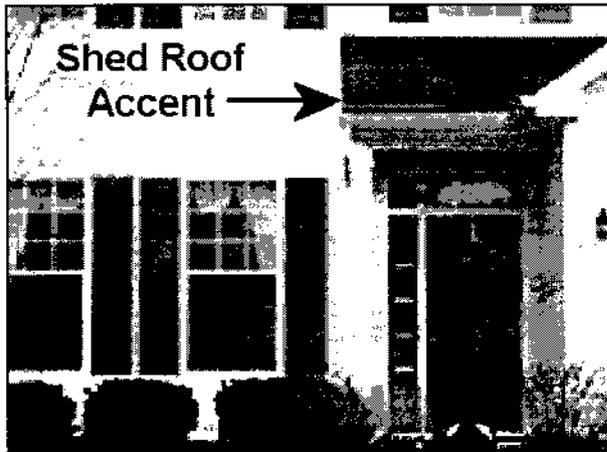
Fiber cement products such as "HARDIPLANK®" siding by James Hardie, "Weatherboard®" by Certainteed, and other similar products, may receive credit as a secondary building material, but shall not be considered the equivalent of brick or stone.

Wherever "masonry products" other than brick or stone are proposed as a Residential Design Feature, such masonry products shall be architectural unit types subject to review and approval by the Plan Commission. A standard concrete block or cinder block which does not feature an architectural surface shall not be awarded credit as a Residential Design Feature.

## Examples of Residential Design Features for Front Facades



## Examples of Residential Design Features for Front Facades

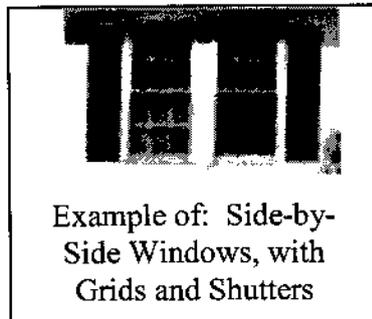
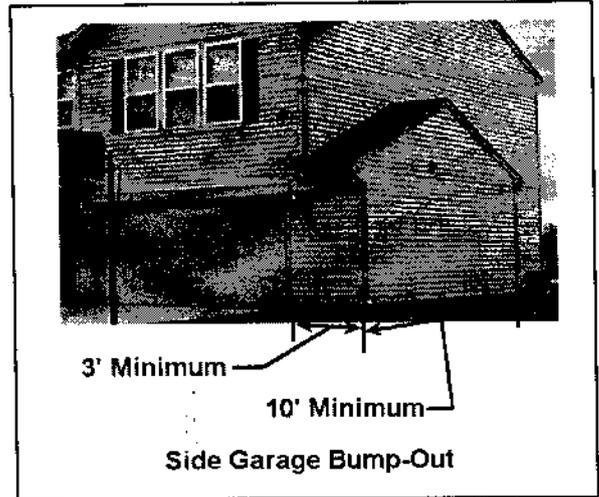
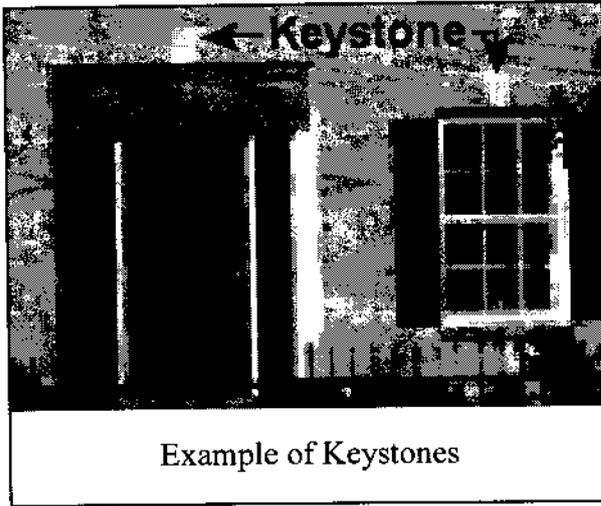


Example of: Accent Siding and Decorative Vent in a Gable Accent with Pent Roof



Example of: Porch, Façade Modulation, No Garage Doors, Roof Overhang, Side-by Side Windows, Crawl Space, Pent Roof, Shutters, Window Grids, Decorative Gable Vent, and Foundation Landscaping

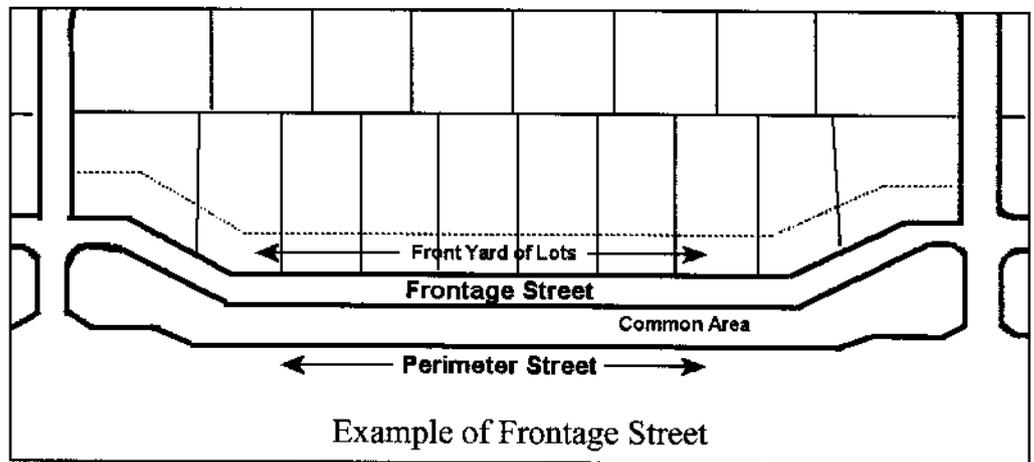
## Examples of Residential Design Features for Front Facades



D. Additional Design Features for Single Family Dwelling Lots and Two Family Dwelling Lots.

1. Perimeter Streetscapes – All portions of the subdivision or project which is oriented toward an existing perimeter street should utilize at least one (1) of the following three (3) design features:

a. Frontage Street – All lots, sub-lots and streets should be laid out so that single family dwellings and two family dwellings located on all lots which are adjacent to a perimeter street of a subdivision or project are oriented with the front façade of the dwelling facing toward the perimeter street of the subdivision or project. This design feature may be accomplished through the utilization of a

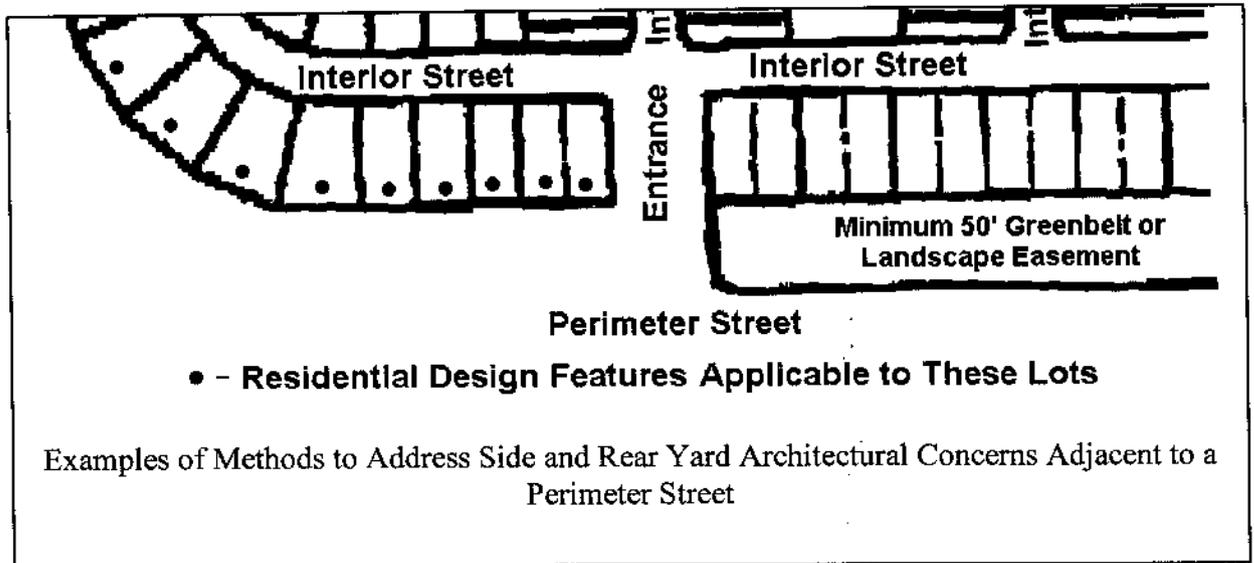


frontage street;

b. Side or Rear Elevation Architectural Treatment – Single family dwellings and two family dwellings located on lots or sub-lots adjacent to a perimeter street of a subdivision or project and located so as to have a side or rear elevation oriented to said perimeter street should utilize design features selected from the options specified in Table 2B: Residential Design Features – Side and Rear Elevations; or,

c. Greenbelt or Landscape Easement - A greenbelt (which includes significant tree preservation) or landscape easement, of not less than fifty (50) feet in dimension should be provided along all perimeter streets of the subdivision or project. A landscape easement which contains primarily new plantings should achieve a plant unit value of five (5) or greater (as calculated pursuant to Article 4.7 of the Plainfield Zoning Ordinance), with at least 40% of the value obtained from ornamental or shade trees, and at least 40% of the plant unit value obtained from evergreen trees. The remaining 20% of the plant unit value may consist of: any type of

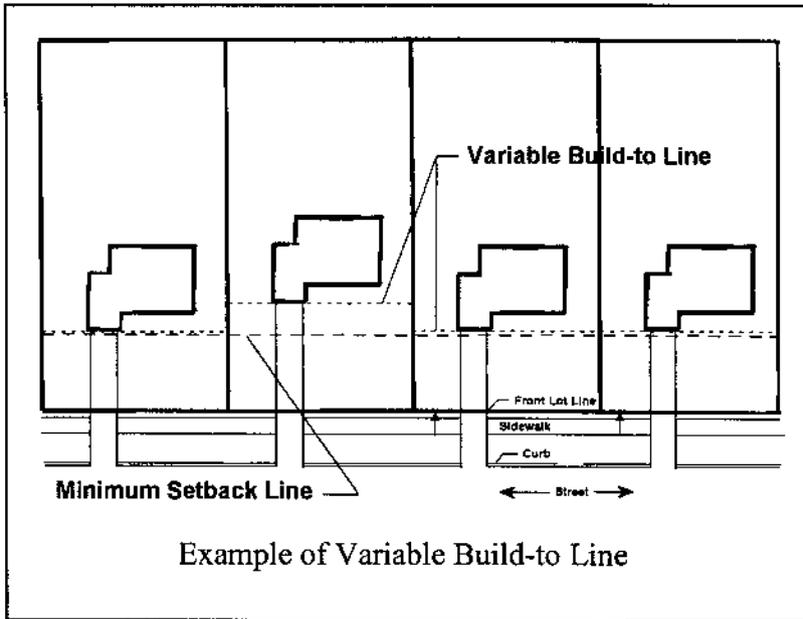
plant material (deciduous trees, evergreen trees, hedge plants, etc.); walls; fences; or, berms, as regulated by Article 4.7 of the Plainfield Zoning Ordinance. No portion of the greenbelt or landscape easement should be included in the area of any lot.



2. Interior Streetscapes for all Single Family Dwelling Lots of 15,000 Square Feet in Lot Area or Less; and, Two Family Dwelling Lots of 20,000 Square Feet in Lot Area or Less:

All portions of the subdivision or project should utilize at least one (1) of the following two (2) design features:

- a. Establish a variable build to line by plat to vary the placement of adjacent dwelling units by a minimum of:
  - (1) Single Family Dwellings – a five (5) foot or more variation applicable to at least one (1) of every four (4) lots along a block face; or,
  - (2) Two Family Dwellings – either: a two (2) foot off-set for more for each dwelling unit in a two family dwelling building; or, a five (5) foot or more variation applicable to at least one (1) of every four (4) lots along a block face; or,
- b. Provide documentary assurances that sufficient variation will exist in the design and appearance of adjacent dwelling units necessary to avoid a monotonous building design and streetscape.



3. All Other Side or Rear Elevations Not Oriented Toward a Perimeter Street – Single family dwellings and two family dwellings located on all other lots or sub-lots and which are not oriented toward a perimeter street should utilize design features selected from the options specified in Table 2B: Residential Design Features – Side and Rear Elevations.

## **Table 2B: Residential Design Features Side and Rear Elevations**

Select from the following design features based upon the location and orientation of the side or rear elevation:

- Side or Rear Elevation Oriented Toward a Perimeter Street – a minimum of five (5) of the following design features, with at least three (3) features selected from Group 1, for any side or rear elevation oriented toward a perimeter street;
- All Other Rear Elevations– a minimum of four (4) of the following design features, with at least two (2) features selected from Group 1, for any other rear elevation; or,
- All Other Side Elevations – a minimum of two (2) of the following design features, with at least one (1) feature selected from Group 1, for any other side elevation.

### **Group 1:**

Change in Elevation of Roof Ridge.

Change in Direction of Roof Ridge.

Finished Space "Pop-Out" (minimum size 3' X 10').

Open or Screened in Porch (minimum size 10' X 10').

Bay or Oriel Window.

Bay Door.

Side-by-Side Windows (within 8"; minimum of 50% of windows in each story).

Exterior Chase Fireplace.

Facade Modulation (other than items listed herein; minimum 12 inches in depth)

Roof with Dormers (minimum of two (2) dormers).

~~Roof Overhangs (minimum 12" on front, side and rear elevations):~~

100% brick or stone on front, side and rear elevations (i.e., all wall area\* below the eave line or a trimmed gable). (Note: This item qualifies as three (3) design features selected from any Group).

Minimum 50% brick or stone on the applicable side or rear elevation \*.

**\*Note:** Side elevation wall area is exclusive of window or door areas. Rear elevation wall area is exclusive of window or door areas but does include all wall areas oriented to the rear of a primary building containing a dwelling unit located between the two side walls of such building.

**Group 2:**

Multiple Building Materials (secondary material must comprise at least 20% of the applicable elevation).

Hip Roof.

~~Roof Overhang (subject elevation only).~~

Decorative Door Architrave.

Decorative Window Architrave.

Decorative Window Cornice.

Decorative Trim Molding (including, at a minimum, fascia, soffit & corner trim).

Architectural Elements (e.g., quoins, pilasters, soldier courses, friezes, cornices, dentils, etc.)

Accent Siding.

Door Transom.

Window Transom.

Elevated Deck with Decorative Rail.

Integrated Covered Storage Area (Not the same as a Side Garage Bump-Out; minimum size 3' X 10').

Foundation Landscape Package (minimum: 2 trees; 1 tree and 4 shrubs; or, 8 shrubs).

~~Shutters (all front, side and rear elevations).~~

Window Grids (permanent).

Patio Doors (double width, not sliding).

**NOTES:**

Additional architectural or design features may be approved within each Group when such architectural features would provide a similar architectural effect to the items listed within each Group.

Fiber cement products such as "HARDIPLANK®" siding by James Hardie, "Weatherboard®" by Certainteed, and other similar products, may receive credit as a secondary building material, but shall not be considered the equivalent of brick or stone.

Wherever "masonry products" other than brick or stone are proposed as a Residential Design Feature, such masonry products shall be architectural unit types subject to review and approval by the Plan Commission. A standard concrete block or cinder block which does not feature an architectural surface shall not be awarded credit as a Residential Design Feature.

## Examples of Residential Design Features for Side and Rear Facades



Example of: Shutters, Patio Doors and Retractable Awning



Example of: Screened Porch & Elevated Deck with Decorative Rail



Example of Bay Door



Example of: Roof Line Change, Patio Doors and Change in Architectural Plains

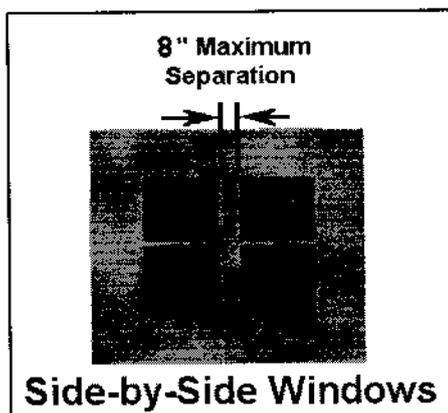
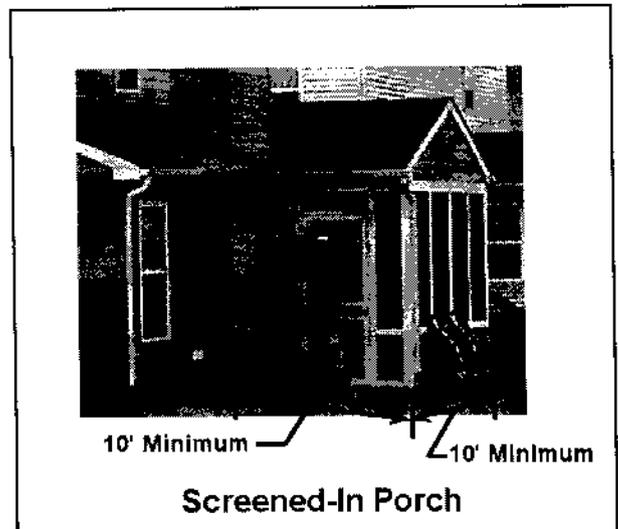
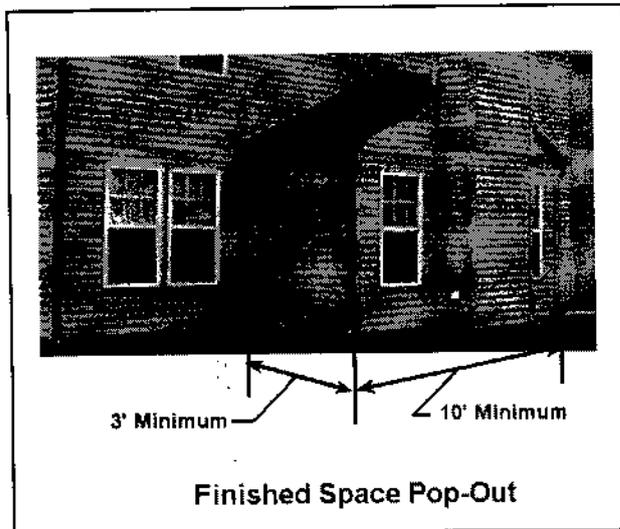


Example of: Shutters, Window Grids, Patio Doors and Side-by-Side Windows



Example of an Exterior Chase Fireplace

## Examples of Residential Design Features for Side and Rear Facades



E. Administration.

1. Homeowners Association / Architectural Review Committee / Covenants, Conditions and Restrictions.

In any subdivision that will include a homeowners association (HOA) or an architectural review committee (ARC) charged with the approval of all proposed new construction, alterations or additions in the subdivision, the design features selected for the subdivision should be incorporated into any rules, procedures or guidelines established by the Covenants, Conditions and Restrictions of the subdivision and should be used to establish the scope of review for such HOA or ARC.

2. Improvement Location Permit & Building Permit Process.

A Certification of Compliance for all plans which indicates the design features used to comply with these design guidelines shall be prepared by the applicable HOA, ARC or builder (where no HOA or ARC exist) and should be submitted with all applications for an Improvement Location Permit and Building Permit for all single family or two family dwellings covered by these Residential Design Guidelines.

### **Section 3. Multifamily Guidelines.**

The design features set forth in this section are intended to be used with multifamily projects. These design features are particularly appropriate as density or building height increases or when special attention to site design features can make a difference in the perceived compatibility of the multifamily project with existing and planned developments in the immediate area. The number and selection of design features should be commensurate to: the density of the project; the projected market profile for the project; the land use of abutting parcels; and, conditions of the surrounding area.

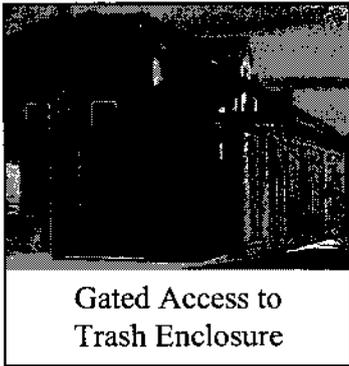
Each design feature discussed below is intended to be considered separate from and in addition to the other design features listed below or elsewhere in these Residential Design Guidelines.

#### **F. Multifamily Site Design Features.**

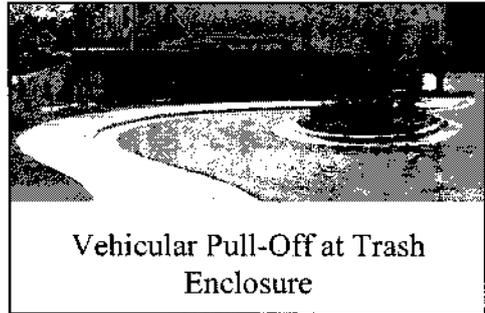
1. Multifamily projects should include a community building or club house. Any community building / club house should be designed so as to feature four (4) or more common recreational facilities including, but not limited to: a swimming pool; hot tub; tennis court; basketball court; lounge area; multi-purpose room; game room; and, the like, which are appropriate to the project.
2. Accommodations for trash collection through the use of centralized trash collection areas which:
  - a. are screened on at least three (3) sides by a solid-walled enclosure which is faced with exterior materials of brick, stone, or other masonry material(s) compatible with the architecture of the buildings containing dwelling units (wood may be used in limited circumstances, subject to applicable fire codes, when necessary to be consistent and compatible with the architecture of buildings containing dwelling units);
  - b. provide a gate across the access to the trash collection area enclosure covered with wood or similar appearing material and painted a color that is compatible with the colors of the buildings containing dwelling units;
  - c. provide foundation landscaping around the trash collection area enclosure; and,
  - d. have a vehicular pull-off area for residents to park while depositing items into the trash collection area.



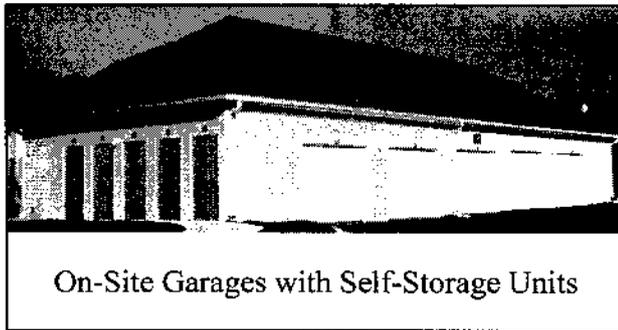
Solid Walled Enclosure for Trash Compactor with Foundation Landscaping



Gated Access to Trash Enclosure



Vehicular Pull-Off at Trash Enclosure



On-Site Garages with Self-Storage Units

<p><b>THIS or</b></p> <p>False Doors; Multiple Plains; Roof Features</p>	<p><b>THIS</b></p> <p>Change in Plains and Materials at Two Locations</p>	<p><b>NOT THIS</b></p>
<p>Examples of Architectural Features for On-Site Garages</p>		

3. Provision of a trash compactor within a trash collection area.
4. The provision of perimeter yard landscaping which is, at a minimum, two (2) times greater than the minimum required plant unit value for a perimeter yard;
5. The provision of foundation landscaping for all buildings;
6. The provision of a fenced pet run;
7. On-site covered parking, subject to the following requirements:
  - a. parking spaces may be in garages or carports;
  - b. the total number of parking spaces in garages or carports should not be less than forty (40) percent of the total number of dwelling units;
  - c. if a garage or carport is located between a primary building containing dwelling units and a front yard, side yard or rear yard, any elevation located parallel to or within thirty (30) degrees of being parallel to such front yard, side yard or rear yard shall include at least two (2) of the following:
    - (1) façade modulation of at least six (6) inches for every thirty (30) feet of wall length;
    - (2) multiple building materials (e.g., brick, fieldstone, limestone, marble, granite, textured block, architectural pre-cast concrete, concrete composite siding, wood clapboard siding, wood beaded siding, stucco, E.F.I.S., vinyl siding, aluminum siding, etc.);
    - (3) multiple surface textures (e.g., rough, striated, imprinted, etc.) or patterns;
    - (4) separation in roof pitch, variation in direction of roof pitches, inclusion or dormers, or other variation on roof design; or,
    - (5) use of false door or window openings, defined by frames, sills and lintels.

8. Centralized, on-site self-storage units, in addition to any storage closets that may be provided on any patios or balconies, in an amount not less than twenty (20) percent of the total number of dwelling units.



Example of On-Site Self Storage Units

9. On-site area set-aside as a car wash facility, either covered or open, available to residents.



Example of On-Site Car Wash Area

**G. Multifamily Architectural Features.**

All buildings, including community building / club house, storage buildings, maintenance buildings, garages, carports and buildings containing dwelling units should utilize the following design features in a manner and extent appropriate for the density and location of the project:

1. building materials should comply with the following guidelines:
  - a. All brick or stone veneer supplemented with significant use of architectural elements (e.g., quoins, pilasters, soldier courses, friezes, cornices, dentils, etc.); or,
  - b. Multiple building materials with the primary building material being brick, fieldstone, limestone, marble, granite and comprising a minimum of:
    - (1) 85% of the area of each elevation for a one-story elevation;

- (2) 100% of the area of the first floor of each elevation for a two-story elevation; or,
- (3) 100% of the area of the first floor of each elevation and 60% of the total area of each elevation for more than two-story elevations.

(Note: Elevation wall area is exclusive of window or door areas)

- c. In the case of multiple building materials, secondary building should comprise a minimum of 10% of the elevation area. Recommended secondary materials include: textured block, architectural pre-cast concrete, concrete composite siding, wood clapboard siding, wood beaded siding, stucco, E.F.I.S., etc.
2. Multiple surface textures (e.g., rough, striated, imprinted, etc.);
  3. Façade or elevation modulations (e.g., building off-sets of at least two (2) feet in depth for every forty (40) feet of building wall length);
  4. 12" overhangs.
  5. Architectural elements (e.g., quoins, pilasters, soldier courses, friezes, cornices, dentils, etc.); or,
  6. Multiple colors (i.e., the use of a maximum of three (3) discernable colors, with primary color constituting a minimum of 60% of the applicable elevation and the secondary color constituting a minimum of 10% of the applicable elevation)

on each exterior wall surface.

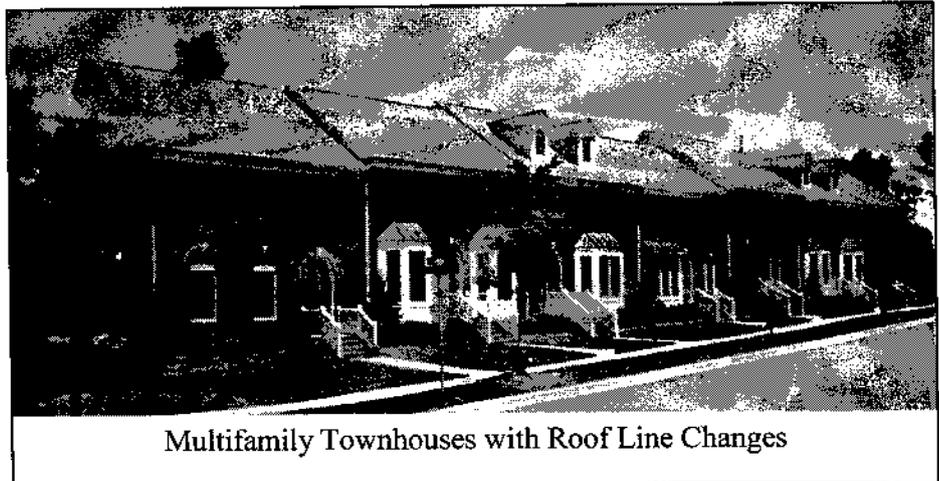


Example of Multiple Building Materials, Multiple Textures, Façade Modulation, Architectural Elements and Multiple Colors

H. Additional Architectural Features for Multifamily Townhouses.

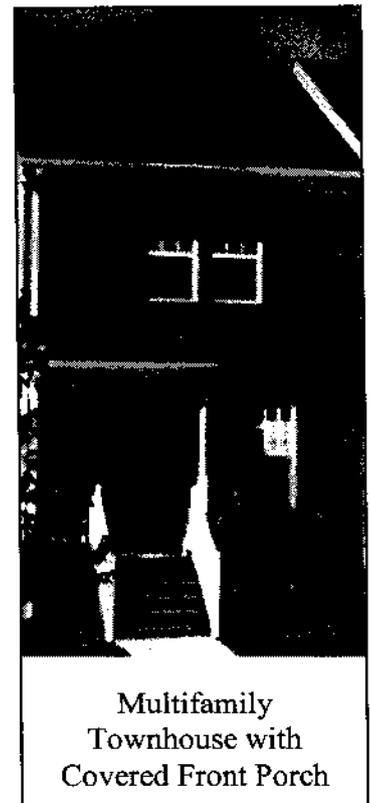
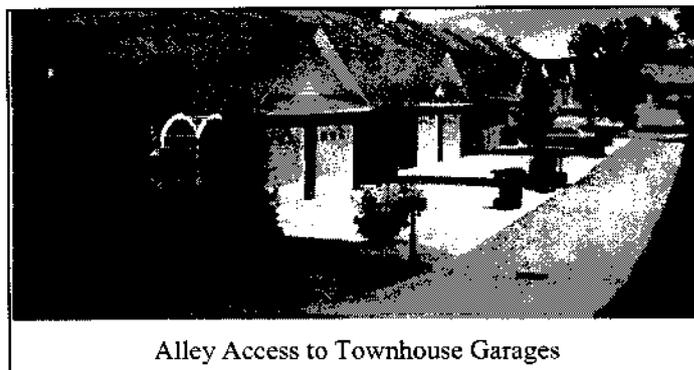
Townhouse developments shall utilize the following design features:

1. The roof of each dwelling unit shall be distinct from the roof of adjacent dwelling units either through: separation of roof pitches; varying the direction of roof pitches; inclusion of dormers; or, other variation in roof design; or,



Each dwelling unit is designed with a covered front porch occupying a minimum of fifty (50) percent of the overall width of the dwelling unit.

2. All garages, carports or other off-street parking areas reserved for the owners or occupants of the townhouse dwelling units, whether attached or detached, shall be provided with rear access from an adjoining public or private alley.



## Certification of Compliance of Front Elevation with Residential Design Guidelines

**Petition #:** \_\_\_\_\_ **Subdivision Name:** \_\_\_\_\_  
**Address:** \_\_\_\_\_ **Builder:** \_\_\_\_\_  
**Lot #:** \_\_\_\_\_ **Home Model:** \_\_\_\_\_

<b>GROUP 1 – Minimum of four (4) items required. (Check all that apply)</b>	<b>*</b>
Change in Elevation of Roof Ridge.	
Change in Direction of Roof Ridge	
Roof with Dormers (minimum of two (2) dormers, unless Eyebrow Dormer)	
Bay or Oriel Window	
Porch or Verandah (covering a minimum of 40% of the overall width of the front façade of the primary building containing a dwelling unit)	
Portico or Shed Roof Accent over Front Entry (minimum covered area - 4' X 10')	
Façade Modulation (Other than items listed herein; minimum 12 inches in depth)	
Façade Contains No Garage Doors	
Roof Overhangs (minimum 12" on all elevations)	
100% brick or stone on all elevations (i.e., all wall surface below the eave line or a trimmed gable). (Note: This item qualifies as three (3) design features selected from any Group)	
Minimum 50% brick or stone on front façade*	
Other: (Specify)	
<b>GROUP 2 – Minimum of three (3) items required. (Check all that apply)</b>	<b>*</b>
Multiple Building Materials (secondary material must comprise at least 20% of front façade.	
Crawl Space or Basement	
Hip Roof	
Gable Accent	
Side-by-Side Windows	
Door Sidelight(s)	
Door Transom	
Window Transom	
Side Garage Bump-out (minimum size 3' X 10', exclusive of garage area)	
Other: (Specify)	
<b>GROUP 3 – Minimum of four (4) items required. (Check all that apply)</b>	<b>*</b>
Decorative Door Architrave	
Decorative Window Architrave	
Decorative Window Cornice	
Decorative Trim Molding (including, at a minimum, fascia, soffit & corner trim)	
Architectural Elements (e.g., quoins, pilasters, soldier courses, friezes, cornices, dentils, etc.)	
Pent Roof or Pent Roof Return	
Accent Siding	

Shutters (all-sides)	
Window Grids (permanent)	
Decorative Front Door (minimum 25% glazing)	
Decorative Gable Vents	
Keystone (over all first floor, front façade windows and doors)	
Windows in Garage Door	
Foundation Landscape Package (minimum: 2 trees; 1 tree and 4 shrubs; or, 8 shrubs)	
Other: (Specify)	

## RESIDENTIAL DESIGN GUIDELINES

### Front Elevation Evaluation Sheet

	Home 1	Home 2	Home 3	Home 4	Home 5	Home 6
<b>GROUP 1</b>						
Roof Line Elevation						
Roof Line Direction						
Dormers						
Bay or Oriel Window						
40% Porch or Verandah						
Portico or Shed Roof Accent						
Façade Modulation						
Façade Contains <u>No</u> Garage Doors						
Roof Overhang (minimum 12 inches)						
100% Brick or Stone (counts as three (3) items)						
50% Brick or Stone						
Other: (Specify)						
<b>GROUP 2</b>						
Multiple Materials						
Crawl Space or Basement						
Hip Roof						
Gable Accent						
Side-by Side Windows						
Door Sidelight(s)						
Door Transom						
Window Transom						
Side Garage Bump-out						
Other: (Specify)						
<b>GROUP 3</b>						
Decorative Door Architrave						
Decorative Window Architrave						
Decorative Window Cornice						

Decorative Trim Molding						
Architectural Elements						
Pent Roof or Pent Roof Return						
Accent Siding						
Shutters						
Window Grids						
Decorative Front Door						
Decorative Gable Vents						
Keystone						
Windows in Garage Door						
Foundation Landscape						
Other: (Specify)						

## Certification of Compliance of Side or Rear Elevations with Residential Design Guidelines

**Petition #:** \_\_\_\_\_ **Subdivision Name:** \_\_\_\_\_

**Address:** \_\_\_\_\_ **Builder:** \_\_\_\_\_

**Lot #:** \_\_\_\_\_ **Home Model:** \_\_\_\_\_

**Street Orientation:** \_\_\_\_\_ (Minimum of 5 items required, with at least 3 from Group 1)

**Rear Elevation:** \_\_\_\_\_ (Minimum of 4 items required, with at least 2 from Group 1)

**Side Elevation:** \_\_\_\_\_ (Minimum of 2 items required, with at least 2 from Group 1)

<b>GROUP 1 – (Check all that apply)</b>	<b>*</b>
Roof Line Elevation	
Roof Line Direction	
Finished Space Pop-out	
Open or Screened In Porch	
Bay or Oriel Window	
Bay Door	
Side-by-Side Windows	
Exterior Chase Fireplace	
Façade Modulation	
Dormers	
Roof Overhang (minimum 12 inches; all elevations)	
100% Brick or Stone (all elevations, counts as three (3) design features selected from any Group)	
50% Brick or Stone	
Other: (Specify)	
<b>GROUP 2 – (Check all that apply)</b>	<b>*</b>
Multiple Building Materials	
Hip Roof	
Roof Overhang (subject elevation only)	
Decorative Door Architrave	
Decorative Window Architrave	
Decorative Window Cornice	
Decorative Trim Molding	
Architectural Elements	
Accent Siding	
Door Transom	
Window Transom	
Elevated Deck with Rail	

Integrated Covered Storage	
Foundation Landscape	
Shutters	
Window Grids	
Patio Doors (double width, not sliding glass doors)	
Other: (Specify)	

# RESIDENTIAL DESIGN GUIDELINES

## Side or Rear Elevation Evaluation Sheet

	Home 1	Home 2	Home 3	Home 4	Home 5	Home 6
<b>GROUP 1</b>						
Roof Line Elevation						
Roof Line Direction						
Finished Space Pop-out						
Open or Screened In Porch						
Bay or Oriel Window						
Bay Door						
Side-by-Side Windows						
Exterior Chase Fireplace						
Façade Modulation						
Dormers						
Roof Overhang (minimum 12 inches; all elevations)						
100% Brick or Stone (all elevations, counts as three (3) design features)						
50% Brick or Stone						
Other: (Specify)						
<b>GROUP 2</b>						
Multiple Building Materials						
Hip Roof						
Roof Overhang (subject elevation only)						
Decorative Door Architrave						
Decorative Window Architrave						
Decorative Window Cornice						
Decorative Trim Molding						
Architectural Elements						
Accent Siding						
Door Transom						
Window Transom						
Elevated Deck with Rail						
Integrated Covered Storage						
Foundation Landscape						
Shutters						
Window Grids						
Patio Doors (double width, not sliding glass doors)						
Other: (Specify)						

